



Slab Pre-Pour Inspection
SAMPLE REPORT

PRE-SLAB STAGE

1234 Main St. Melbourne VIC 3000

Buyer Name
05/08/2021 9:00AM



Inspector
Maison Azdari
Registered Building Practitioner
[1300 471 805](tel:1300471805)
booking@ownerinspections.com.au



Agent
Agent Name
555-555-5555
agent@spectora.com

TABLE OF CONTENTS

1: Inspection Details11

2: Inspector's comments12

3: Site Preparation13

4: Slab Preparation16

5: Slab Formwork18

6: Reinforcement21

7: Termite Management25

8: Metre Box26

Standard of Practice27

Inspection Agreement

1. This is an Agreement between you, the undersigned Client, Jane John, and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.
11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.
12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.
13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.
14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.
15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.
16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.
17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.
18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.
19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express or

implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

Purpose of Inspection

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

Conditions of Inspection

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

Scope of Inspection

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix A. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

Inspection Records

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions

at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

Areas for Inspection

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

Items to be inspected where applicable:

Interior: Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

Exterior: Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and barges.

Roof Space: Roof covering, Roof framing, Sarking, Party walls, Insulation.

Subfloor Space: Timber Floor, Suspended concrete floors.

The site: Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

Exclusion of items from Inspection:

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

Safe and reasonable access

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

Roof interior: minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

Roof exterior: Accessible from a 3.6m ladder placed on the ground.

Sub Floor Area: 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

Access Limitation:

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision of reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are

concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

Examples of access limitations:

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

Acceptance criteria:

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Definitions

Access hole (cover): An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

Accessible area: An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person or other entity for whom the Inspection is being carried out.

Defect: Fault or deviation from the intended condition of a material, assembly, or component.

Inspection: Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

Inspector: Person who is responsible for carrying out the Inspection.

Limitation: Any factor that prevents full or proper Inspection of the building.

Structural defect: Fault or deviation from the intended structural performance of a building element.

Structural element: Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

Subfloor space: Space between the underside of a suspended floor and the ground.

Roof space: Space between the roof covering and the ceiling immediately below the roof covering.

Site: Allotment of land on which a building stands or is to be erected.

Defect Categories:

Visually Fine (F): Item inspected and is visually fine.

General Advice (G): A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

Defect (D): Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

Major Defect (M): A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

Unable to Inspect (U): An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

Not Applicable (N): An item which is not applicable to the area of the Inspection.

SUMMARY



GENERAL
ADVICE/MAINTENANCE
ITEM



REPAIR RECOMMENDED



MAJOR STRUCTURAL
DEFECT/SAFETY HAZARD



2.1.1 Inspector's comments - Inspection Summary: + Incomplete - Not ready for pouring concrete - Site Unattended



3.1.1 Site Preparation - Earthworks: + Unable to Inspect



3.1.2 Site Preparation - Earthworks: + Remove The Dirt



3.2.1 Site Preparation - Surface Water Drainage: + Grading Is Required



3.3.1 Site Preparation - Bored Piers/Screw Piles: + Unable to Inspect



3.4.1 Site Preparation - Sewer Drainage: + Not Capped



3.5.1 Site Preparation - Stormwater Drainage: + Visally fine



4.2.1 Slab Preparation - Vapour Barrier: + Extend The Vapour Barrier



4.3.1 Slab Preparation - Waffle Pods: + Not fixed



5.1.1 Slab Formwork - General: Unable to determine



5.2.1 Slab Formwork - Edge Rebate: + As Per Drawings



5.4.1 Slab Formwork - Formwork: Not Straight



5.4.2 Slab Formwork - Formwork: Bracing - Sufficient



5.4.3 Slab Formwork - Formwork: Incomplete



6.1.1 Reinforcement - General: + Star Picket/Reo Bar Caps Not Installed



6.2.1 Reinforcement - Reinforcement Minimum Laps: + visually fine



6.3.1 Reinforcement - Minimum Concrete Cover: + Concrete Cover - Insufficient



6.5.1 Reinforcement - Reinforcement Fixing: + Bar Chair - Additional Needed



6.6.1 Reinforcement - Shrinkage Control: + Not Installed - Around Service Penetrations



6.7.1 Reinforcement - Edge/Middle Beams Reinforcement: + Top Bar Not Installed



6.7.2 Reinforcement - Edge/Middle Beams Reinforcement: Extre bar required



6.8.1 Reinforcement - Slab Mesh: + Corner Temporary Support Required



7.1.1 Termite Management - Termite collars/barrier: Visually fine



8.1.1 Metre Box - Electrical Metre Box: + Installed - Visually Fine

1: INSPECTION DETAILS

Information

General: TYPE OF SLAB Waffle Pod	General: In Attendance Site un-attended	General: TYPE OF BUILDING Residential
General: Documents Received Architectural Plans, Engineering Drawings	General: BUILDING AGE New Build	General: Weather Conditions Clear

Limitations

General
DAMP-PROOF MEMBRANE

General
WAFFLE PODS

2: INSPECTOR'S COMMENTS

		F	G	D	M	U	N
2.1	Inspection Summary			X			

F = Visually FineG = General AdviceD = DefectM = Major DefectU = Unable to InspectN = Not Applicable

Observations

2.1.1 Inspection Summary

+ INCOMPLETE - NOT READY FOR POURING CONCRETE - SITE UNATTENDED

Repair Recommended

The preparation of the slab has started, but it is not completed yet and therefore, not ready to pour the concrete.

Recommendation

Contact a qualified professional.

3: SITE PREPARATION

		F	G	D	M	U	N
3.1	Earthworks			X			
3.2	Surface Water Drainage		X				
3.3	Bored Piers/Screw Piles		X				
3.4	Sewer Drainage			X			
3.5	Stormwater Drainage		X				

F = Visually Fine

G = General Advice

D = Defect

M = Major Defect

U = Unable to Inspect

N = Not Applicable

Observations

3.1.1 Earthworks

+ UNABLE TO INSPECT

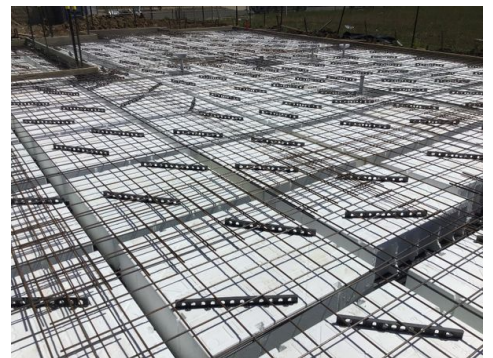
Unable to inspect due to vapour barrier and/or waffles.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



3.1.2 Earthworks

+ REMOVE THE DIRT

The dirt (loose soil from excavation) are around and close to the slab. All first to be removed from the place slab prior to concrete placement.

Recommendation

Contact a qualified professional.



Repair Recommended



3.2.1 Surface Water Drainage

+ GRADING IS REQUIRED



General Advice/Maintenance Item

After pouring the slab concrete, the site should be graded.

NCC - 3.1.3.3 Surface water drainage Slab-on-ground — finished ground level adjacent to buildings:

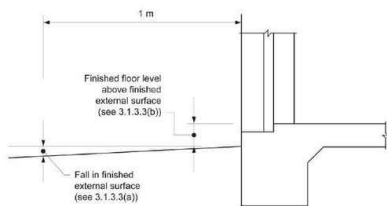
The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

- (i) 25 mm over the first 1 m from the building in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); OR
- (ii) 50 mm over the first 1 m from the building in any other case.

Recommendation

Contact a qualified professional.

Figure 3.1.3.2 Site surface drainage



3.3.1 Bored Piers/Screw Piles

+ UNABLE TO INSPECT



General Advice/Maintenance Item

It was unable to inspect the bored piers/screw piles. They must have been poured prior to building the slab.

Bored piers/screw piles inspection is a separate inspection (Prior to pre-slab inspection) and can not be carried out at this stage.

Recommendation

Contact a qualified professional.



3.4.1 Sewer Drainage

+ NOT CAPPED



Repair Recommended

One or more sewer/stormwater pipes are not capped. Capping is required to prevent external material/debris falling inside and cause a blockage.

Recommendation
Contact a qualified professional.



3.5.1 Stormwater Drainage
+ VISALLY FINE

 General Advice/Maintenance Item

Stormwater drains are installed and are visually fine.

Recommendation
Contact a qualified professional.



4: SLAB PREPARATION

		F	G	D	M	U	N
4.1	Sloping Site						X
4.2	Vapour Barrier			X			
4.3	Waffle Pods			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

4.2.1 Vapour Barrier

 Repair Recommended

+ EXTEND THE VAPOUR BARRIER

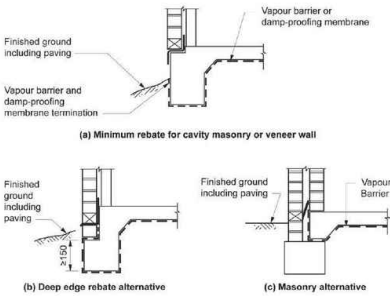
The vapour barrier must be placed beneath the slab so that the bottom surface of the slab is entirely underlaid and extends under edge beams to finish at ground level in accordance with Figure 3.2.2.3.

National Construction Codes (NCC) - 3.2.2.6 (c) Vapour barriers.

Recommendation

Contact a qualified professional.

Figure 3.2.2.3 Acceptable vapour barrier and damp-proofing membrane location



NCC - Figure 3.2.2.3



4.3.1 Waffle Pods

 Repair Recommended

+ NOT FIXED

One or more waffles are not fixed properly and are loose. concreter to fix and secure them prior to pouring concrete to maintain the indicated beam width.

Recommendation
Contact a qualified professional.



5: SLAB FORMWORK

		F	G	D	M	U	N
5.1	General		X				
5.2	Edge Rebate		X				
5.3	Shower Recess						X
5.4	Formwork			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

5.1.1 General

UNABLE TO DETERMINE

 General Advice/Maintenance Item

We were unable to determine the slab height. Builder to confirm.

Recommendation
Contact a qualified professional.



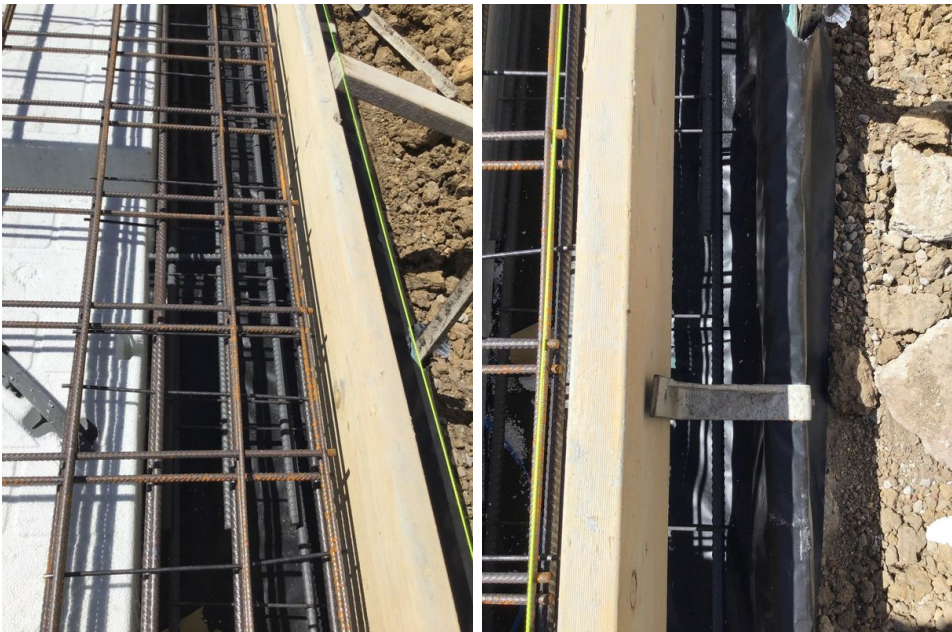
5.2.1 Edge Rebate

+ AS PER DRAWINGS

 General Advice/Maintenance Item

Edge beams are formed according to the drawings.

Recommendation
Contact a qualified professional.



5.4.1 Formwork

NOT STRAIGHT

 Repair Recommended

Some formwork boards are not straight and require manipulation and additional bracing installed to ensure all slab edges will be straight and in the correct position when poured.

Recommendation

Contact a qualified professional.



Right



Right

5.4.2 Formwork

BRACING - SUFFICIENT

 General Advice/Maintenance Item

It looks sufficient bracings are in place to support the formwork against movement during the pouring process.

Recommendation

Contact a qualified professional.



5.4.3 Formwork
INCOMPLETE

 Repair Recommended

Formwork is incomplete in some areas.

Recommendation
Contact a qualified professional.



6: REINFORCEMENT

		F	G	D	M	U	N
6.1	General			X			
6.2	Reinforcement Minimum Laps		X				
6.3	Minimum Concrete Cover			X			
6.4	Reinforcement Cleaning	X					
6.5	Reinforcement Fixing			X			
6.6	Shrinkage Control			X			
6.7	Edge/Middle Beams Reinforcement				X		
6.8	Slab Mesh			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

6.1.1 General

+ STAR PICKET/REO BAR CAPS NOT INSTALLED

 Repair Recommended

Star Picket and/or Reo bar caps are not installed at the time of inspection. The caps must be installed ASAP and prior to pouring concrete to prevent falling workers on unprotected bars/pickets and consequent injuries. (All around the site).

Recommendation
Contact a qualified professional.



6.2.1 Reinforcement Minimum Laps

+ VISUALLY FINE

 General Advice/Maintenance Item

The minimum reinforcement lap is installed. Visually fine.

Recommendation
Contact a qualified professional.



6.3.1 Minimum Concrete Cover

+ CONCRETE COVER - INSUFFICIENT

Repair Recommended

The concrete cover carried out is insufficient in one or more areas.

The minimum concrete cover (The gap between the external edge of the reinforcement and face of the concrete) is required to protect the reinforcement from corrosion.

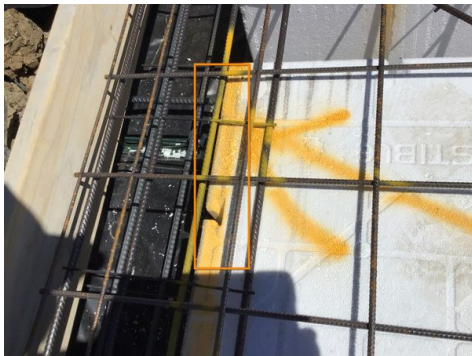
National Construction Codes (NCC) - 3.2.3.2 (d) Steel reinforcement:

Footings and slabs-on-ground must have concrete cover between the outermost edge of the reinforcement (including ligatures, tie wire etc.) and the surface of the concrete of not less than the following:

- (i) 40 mm to unprotected ground.
- (ii) 30 mm to a membrane in contact with the ground.
- (iii) 20 mm to an internal surface.
- (iv) 40 mm to external exposure.

Recommendation

Contact a qualified professional.



6.5.1 Reinforcement Fixing

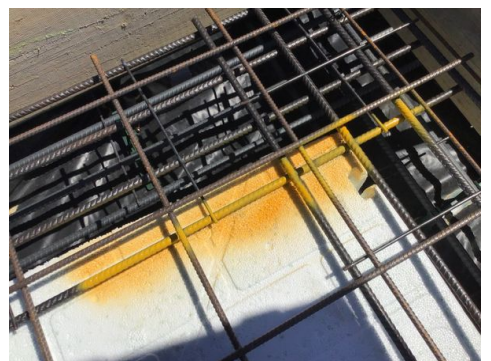
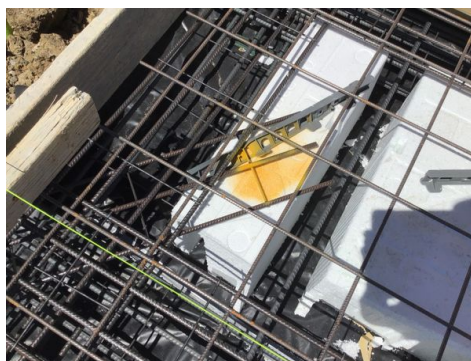
+ BAR CHAIR - ADDITIONAL NEEDED

Repair Recommended

Additional bar chair needed in one or more areas to keep the minimum concrete cover allowance.

Recommendation

Contact a qualified professional.



6.6.1 Shrinkage Control
+ NOT INSTALLED - AROUND SERVICE PENETRATIONS

 Repair Recommended

Bars to be installed around service penetrations where the reinforcement is cut.

Recommendation
Contact a qualified professional.

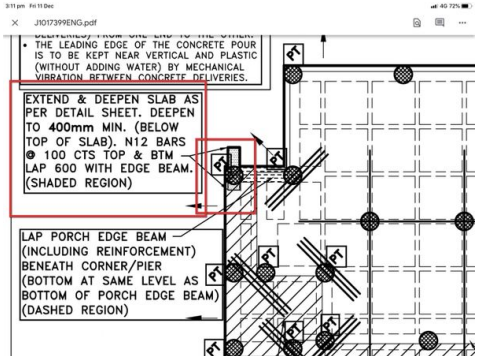


6.7.1 Edge/Middle Beams Reinforcement
+ TOP BAR NOT INSTALLED

 Major Structural Defect/Safety Hazard

Additional reinforcement bar indicated on the engineering drawings is not installed in one or more areas.

Recommendation
Contact a qualified professional.



6.7.2 Edge/Middle Beams Reinforcement
EXTRE BAR REQUIRED

 Major Structural Defect/Safety Hazard

600mm wide beam needs 5 bars (top & bot) (only 4 installed)

Recommendation
Contact a qualified professional.



6.8.1 Slab Mesh
+ CORNER TEMPORARY SUPPORT REQUIRED

 Repair Recommended

The slab mesh corners are not fixed properly and will not be secured during the concrete placement. Temporary support required to fix the reinforcement.

National Construction Codes (NCC) - 3.2.3.2 (f)(i) Steel reinforcement:

All reinforcement must be firmly fixed in place to prevent it from moving during concreting operations.

Recommendation

Contact a qualified professional.



7: TERMITE MANAGEMENT

		F	G	D	M	U	N	
7.1	Termite collars/barrier		X					
F = Visually Fine		G = General Advice		D = Defect	M = Major Defect		U = Unable to Inspect	N = Not Applicable

Observations

7.1.1 Termite collars/barrier

VISUALLY FINE

 General Advice/Maintenance Item

Termite collars have been installed to all slab penetrations to a good standard.

Recommendation

Contact a qualified professional.



8: METRE BOX

		F	G	D	M	U	N				
8.1	Electrical Metre Box		X								
F = Visually Fine		G = General Advice		D = Defect		M = Major Defect		U = Unable to Inspect		N = Not Applicable	

Observations

8.1.1 Electrical Metre Box
+ INSTALLED - VISUALLY FINE

 General Advice/Maintenance Item

The metre box and conduit installed and are visually fine.

Recommendation
Contact a qualified professional.



STANDARDS OF PRACTICE
