



COMPLETION STAGE (GOLD)

1234 Main St. Melbourne VIC 3000

Buyer Name

05/08/2021 9:00AM



Inspector

Maison Azdari

Registered Building Practitioner

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Agent

Agent Name

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Inspection Agreement

1. This is an Agreement between you, the undersigned Client and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.
11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.
12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.
13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.
14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.
15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.
16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.
17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.
18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.
19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express or

implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

Purpose of Inspection

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

Conditions of Inspection

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

Scope of Inspection

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix C, AS4349.1-2007. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

Inspection Records

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions

at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

Areas for Inspection

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

Items to be inspected where applicable:

Interior: Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

Exterior: Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and barges.

Roof Space: Roof covering, Roof framing, Sarking, Party walls, Insulation.

Subfloor Space: Timber Floor, Suspended concrete floors.

The site: Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

Exclusion of items from Inspection:

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

Safe and reasonable access

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

Roof interior: minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

Roof exterior: Accessible from a 3.6m ladder placed on the ground.

Sub Floor Area: 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

Access Limitation:

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision or reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are

concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

Examples of access limitations:

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

Acceptance criteria:

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Definitions

Access hole (cover): An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

Accessible area: An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person or other entity for whom the Inspection is being carried out.

Defect: Fault or deviation from the intended condition of a material, assembly, or component.

Inspection: Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

Inspector: Person who is responsible for carrying out the Inspection.

Limitation: Any factor that prevents full or proper Inspection of the building.

Structural defect: Fault or deviation from the intended structural performance of a building element.

Structural element: Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

Subfloor space: Space between the underside of a suspended floor and the ground.

Roof space: Space between the roof covering and the ceiling immediately below the roof covering.

Site: Allotment of land on which a building stands or is to be erected.

Defect Categories:

Visually Fine (F): Item inspected and is visually fine.

General Advice (G): A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

Defect (D): Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

Major Defect (M): A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

Unable to Inspect (U): An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

Not Applicable (N): An item which is not applicable to the area of the Inspection.

SUMMARY



GENERAL
ADVICE/MAINTENANCE
ITEMS



DEFECTS



MAJOR STRUCTURAL
DEFECTS/SAFETY HAZARDS

- 🔧 1.2.1 + Inspection Details - + General Views of the house: + General views of the house
- ⚠️ 2.1.1 + Inspection Summary - + Inspection Summary: + Overall Condition - Below Average - low quality
- ⊖ 3.1.1 + Utilities - + Utilities Connection: HWS DOOR MISSING
- ⊖ 4.1.1 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): + Debris on the metal roof
- 🔧 4.1.2 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): + General views
- ⚠️ 4.2.1 + Roof Cladding (External) - + Parapet Walls Capping: + Fixed to the frame from TOP!
- ⚠️ 4.2.2 + Roof Cladding (External) - + Parapet Walls Capping: + Side fixing intervals >500mm
- ⚠️ 4.2.3 + Roof Cladding (External) - + Parapet Walls Capping: + Water ponding noted
- ⊖ 4.2.4 + Roof Cladding (External) - + Parapet Walls Capping: + Sealant required to the joints
- ⊖ 4.2.5 + Roof Cladding (External) - + Parapet Walls Capping: Inconsistenet gap
- ⊖ 4.3.1 + Roof Cladding (External) - + Flashing and capping: + Improper installation
- ⊖ 4.3.2 + Roof Cladding (External) - + Flashing and capping: + Apron flashing/wall joint - seal required to top and sides
- ⚠️ 4.3.3 + Roof Cladding (External) - + Flashing and capping: + Apron flashing/wall joint - fixing intervals >100mm
- ⊖ 4.3.4 + Roof Cladding (External) - + Flashing and capping: Joint fixing required
- ⊖ 5.1.1 + Roof Drainage System - + Gutter and Fascia: + Remove debris
- ⊖ 5.1.2 + Roof Drainage System - + Gutter and Fascia: + Brackets - Not Clipped
- ⚠️ 5.1.3 + Roof Drainage System - + Gutter and Fascia: + Water Ponding / Wrong Sloping
- ⊖ 5.1.4 + Roof Drainage System - + Gutter and Fascia: Cleaning required
- ⊖ 5.3.1 + Roof Drainage System - + Downpipes: No painted
- 🔧 5.4.1 + Roof Drainage System - + Downpipe spreaders: + Visually fine
- ⚠️ 5.4.2 + Roof Drainage System - + Downpipe spreaders: Cracked
- 🔧 6.1.1 + House External - + General views of house EXTERNAL: + General views of the house EXTERNAL
- ⊖ 6.1.2 + House External - + General views of house EXTERNAL: Damaged render
- ⊖ 6.2.1 + House External - + Fence / Gate: + Not Installed

- ⊖ 6.2.2 + House External - + Fence / Gate: Check the engineering
- ⊖ 6.3.1 + House External - + Eaves: + Water Staining/Damage Noted
- ⊖ 6.3.2 + House External - + Eaves: + Defective Surface
- ⊖ 6.3.3 + House External - + Eaves: + poor joint setting
- ⊖ 6.3.4 + House External - + Eaves: + Not level
- ⊖ 6.3.5 + House External - + Eaves: + Holes Noted
- ⚠ 6.3.6 + House External - + Eaves: Downlight hole visible
- ⚠ 6.5.1 + House External - + Windows (External): + Rubber flashing adjustment required
- ⊖ 6.5.2 + House External - + Windows (External): + Caulking Required to top/sides
- 🔧 6.5.3 + House External - + Windows (External): + Fly screens Not Installed
- ⊖ 6.6.1 + House External - + Doors (External): + Door does not flush with frame
- ⊖ 6.6.2 + House External - + Doors (External): + Damaged
- ⊖ 6.6.3 + House External - + Doors (External): Wrong caulking colour
- 🔧 6.7.1 + House External - + External Appliances: + Gas hot water Not Installed properly
- 🔧 6.7.2 + House External - + External Appliances: + Installed
- 🔧 6.10.1 + House External - + Termite Management Notice: + Installed
- ⊖ 7.1.1 + External Wall/Cladding - + Brickworks: The stone cladding is broken
- ⚠ 7.3.1 + External Wall/Cladding - + Render: + Damaged/defective
- ⊖ 7.3.2 + External Wall/Cladding - + Render: + Render Cracked
- ⊖ 7.3.3 + External Wall/Cladding - + Render: Cleaning
- ⊖ 7.5.1 + External Wall/Cladding - + Control Joints: + Sealant Required
- ⊖ 7.6.1 + External Wall/Cladding - + Joints/Infills/Caulking: + Door/Window infills required
- ⊖ 7.6.2 + External Wall/Cladding - + Joints/Infills/Caulking: + Caulk around HWS
- ⊖ 7.6.3 + External Wall/Cladding - + Joints/Infills/Caulking: Gaps to external walls
- ⊖ 7.8.1 + External Wall/Cladding - + Weep holes: + Obstructed weep holes
- ⊖ 8.1.1 + Site Drainage - + Site Grading: + Grading Is Required
- ⊖ 8.1.2 + Site Drainage - + Site Grading: Remove excessive material from the site
- ⊖ 8.3.1 + Site Drainage - + Stormwater Drainage System (Underground): + Exposed Pipe - Insufficient cover
- ⊖ 8.3.2 + Site Drainage - + Stormwater Drainage System (Underground): External Drainage / Tap
- 🔧 9.1.1 + Garage/Carport/Driveway/Pathway - + General: + General views
- ⊖ 9.2.1 + Garage/Carport/Driveway/Pathway - + Automatic Roller/Sectional Door(s): + Not Working
- ⊖ 9.3.1 + Garage/Carport/Driveway/Pathway - + Floor (Slab Surface Finish): Cleaning
- 🔧 9.4.1 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: + Incomplete
- ⊖ 9.4.2 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: Expansion joint not straight
- ⊖ 9.4.3 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: Expansion joint not straight.
- ⊖ 9.4.4 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: Joint not straight
- ⊖ 9.4.5 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: Garage expansion joint not straight
- ⊖ 9.4.6 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: Garage surplus materials
- 🔧 10.1.1 + Balcony - + General: + General Views of the balcony
- ⊖ 10.1.2 + Balcony - + General: BBQ cabinet
- ⊖ 10.3.1 + Balcony - + Floor and Walls: + Poor Joint Settings
- 🔧 11.1.1 + Roof Space (Internal) - + General: + General views

- ⚠ 11.4.1 + Roof Space (Internal) - + Insulation: + Downlights Minimum Clearance Required
- ⊖ 11.5.1 + Roof Space (Internal) - + Sarking/Sisolation: + sarking is damaged or cut
- ⚠ 11.8.1 + Roof Space (Internal) - + Heating/Cooling Ducts: Above the manhole
- ⚠ 11.9.1 + Roof Space (Internal) - + Lights/Downlights/Cables: Cables on the manhole
- ⊖ 11.11.1 + Roof Space (Internal) - + Manhole Opening: Access obstruction
- 🔧 12.1.1 + House Internal - + General views of the house INTERNAL: + General views of the house INTERNAL
- ⊖ 12.2.1 + House Internal - + General Painting Defects: + General painting defects throughout the dwelling
- ⊖ 12.2.2 + House Internal - + General Painting Defects: + Doors top/bottom not painted
- ⚠ 12.3.1 + House Internal - + General Tiling: + Cracked/chippend tiles
- ⊖ 12.3.2 + House Internal - + General Tiling: + Grouting/joints defective
- ⚠ 12.3.3 + House Internal - + General Tiling: + Incomplete
- ⊖ 12.3.4 + House Internal - + General Tiling: Caulking
- ⊖ 12.4.1 + House Internal - + General Cracks: + General Cracks to walls/ceiling/skirtings/architraves
- ⊖ 12.5.1 + House Internal - + General Cleaning: + General Cleaning required
- ⊖ 12.6.1 + House Internal - + Doors (Internal): Door strike not in line with the door lock
- ⊖ 12.7.1 + House Internal - + Ceiling/Wall plaster: + Plaster Damaged
- ⊖ 12.7.2 + House Internal - + Ceiling/Wall plaster: Water stain noted
- ⊖ 12.8.1 + House Internal - + Skirtings / Architraves: + Damaged
- ⊖ 12.8.2 + House Internal - + Skirtings / Architraves: + Not Installed
- 🔧 12.9.1 + House Internal - + Windows: + Fly Screen Not installed
- ⊖ 12.9.2 + House Internal - + Windows: Gaps
- ⊖ 12.10.1 + House Internal - + Flooring - Timber: + Squeaking/Springy Floors
- ⊖ 12.10.2 + House Internal - + Flooring - Timber: + Damaged
- ⊖ 12.10.3 + House Internal - + Flooring - Timber: Scratched
- ⊖ 12.12.1 + House Internal - + H/C vents/grilles/outlets: Fireplace not installed
- ⊖ 12.13.1 + House Internal - + Lights/switches/downlights: + Not flush - Downlights with ceiling
- ⊖ 12.13.2 + House Internal - + Lights/switches/downlights: + Improper installation
- ⊖ 12.13.3 + House Internal - + Lights/switches/downlights: + Not installed - switch cover plate
- ⊖ 12.13.4 + House Internal - + Lights/switches/downlights: Clean the paint mark
- ⊖ 12.13.5 + House Internal - + Lights/switches/downlights: Paint on light
- ⊖ 13.1.1 + Stairs (Internal) - + Stairs: + Stair painting
- ⊖ 13.1.2 + Stairs (Internal) - + Stairs: Incomplete
- ⊖ 13.2.1 + Stairs (Internal) - + Balustrades/Handrails: Screws
- ⊖ 14.1.1 + Kitchen - + Benchtops: + Not Installed
- ⊖ 14.1.2 + Kitchen - + Benchtops: + Scratched
- ⊖ 14.1.3 + Kitchen - + Benchtops: + Poor joint quality
- ⊖ 14.2.1 + Kitchen - + Plumbing/Mixer/Taps: + Coverplate(s) not installed
- ⊖ 14.5.1 + Kitchen - + Cabinetry: + Cleaning Required
- ⊖ 14.5.2 + Kitchen - + Cabinetry: + Sealing required
- ⊖ 14.5.3 + Kitchen - + Cabinetry: Draws out of alignment
- ⚠ 14.5.4 + Kitchen - + Cabinetry: Incomplete

- ⊖ 16.4.1 + Bathrooms/Ensuites/Toilets - + Shower screen: + Sealing required
- ⊖ 16.6.1 + Bathrooms/Ensuites/Toilets - + Basin: + Poor caulking workmanship
- ⊖ 16.6.2 + Bathrooms/Ensuites/Toilets - + Basin: + Seal around basins
- ⚠ 16.8.1 + Bathrooms/Ensuites/Toilets - + Bath: + Inconsistent Sealing
- ⊖ 16.9.1 + Bathrooms/Ensuites/Toilets - + Toilet: + Toilet/floor sealant requires

1: + INSPECTION DETAILS

		F	G	D	M	U	N
1.1	+ General		X				
1.2	+ General Views of the house		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ General: In Attendance

Client, Trades

+ General: Weather Conditions

Cloudy

+ General: Bedrooms

5

+ General: Bathrooms/Ensuites

4

+ General: Type Of Building

Residential

+ General: How Many Levels?

Double Storey

+ General: Car Park

Double

+ General: External Building

Material

+ General: Piers

Render

Render

+ General: Building Age

New Build

+ General: Flooring

Timber, Tiles

+ General: Windows

Aluminium

+ General: Roof

Metal

Limitations

+ General

REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:

Roof Space Due To Limited Crawl Space, Height, Stored Material

Observations

1.2.1 + General Views of the house

+ GENERAL VIEWS OF THE HOUSE

 General Advice/Maintenance Items



2: + INSPECTION SUMMARY

		F	G	D	M	U	N
2.1	+ Inspection Summary				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

2.1.1 + Inspection Summary



+ OVERALL CONDITION - BELOW AVERAGE - LOW QUALITY

The overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is **Below Average**. The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Please Note: This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

3: + UTILITIES

		F	G	D	M	U	N
3.1	+ Utilities Connection			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ Utilities Connection: Recycled Water

Connected, Not connected

+ Utilities Connection: Gas

Not Connected, Not tested

+ Utilities Connection: Smoke Alarms

Smoke detectors to be tested by electrician and certificate to be provided to client., Installed, Not Installed

+ Utilities Connection: ELECTRICITY

Connected, Not connected

+ Utilities Connection: Main Water

Connected, Not tested

+ Utilities Connection: Sewer

Connected, Not connected

+ Utilities Connection: Stormwater system

Connected, Not connected

Observations

3.1.1 + Utilities Connection HWS DOOR MISSING



4: + ROOF CLADDING (EXTERNAL)

		F	G	D	M	U	N
4.1	+ Roof Cladding (Metal sheet Roofing)		X				X
4.2	+ Parapet Walls Capping			X	X		
4.3	+ Flashing and capping			X	X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

+ Roof Cladding (Metal sheet Roofing)

+ ROOF CLADDING INSPECTION WAS RESTRICTED BY:

Height



Observations

4.1.1 + Roof Cladding (Metal sheet Roofing)

+ DEBRIS ON THE METAL ROOF



There is one or more debris on the roof which need to be removed. The roof cladding should be out of any dirt, debris, mortar, excessive dust, marks, etc. at the time of handover.

Installation of each new or altered section of the roof drainage system shall comply with the following:

- (a) There shall be no restrictions to the free flow of stormwater due to-
 - (i) protrusions or other obstructions; or
 - (ii) debris (e.g. cement, mortar, clippings and similar debris).**
- (b) All accessories shall be effectively fixed and securely anchored.



4.1.2 + Roof Cladding (Metal sheet Roofing)

**+ GENERAL VIEWS**

General views of the roof cladding.



4.2.1 + Parapet Walls

Capping



Major Structural Defects/Safety Hazards

+ FIXED TO THE FRAME FROM TOP!

The cappings are fixed to the frame from above. The cappings must be fixed to the frame from the sides only (top joints excepted) to prevent water leak/damage.

3.5.4.8 Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a) Cappings must—
- (i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 3.5.1.2(b); and
 - (ii) extend not less than 50 mm down the sides of the parapet; and
 - (iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.



4.2.2 + Parapet Walls Capping

+ SIDE FIXING INTERVALS >500MM

Major Structural Defects/Safety Hazards

The parapet is not installed according to the regulations. Wall capping must be fixed to the frame with a minimum of 500m intervals.

3.5.4.8 Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

(a) Cappings must—

- (i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 3.5.1.2(b); and
- (ii) extend not less than 50 mm down the sides of the parapet; and
- (iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
- (iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.



4.2.3 + Parapet Walls Capping



Major Structural Defects/Safety Hazards

+ WATER PONDING NOTED

Water ponding (or stains) noted on the cappings which can be due to improper sloping and/or fixing. The water ponding on the capping can cause capping corrosion in the long term. Also, water can leak from the fastener holes. Rectification required.

National Construction Codes (NCC) - 3.5.4.8 Parapet capping:

(b) The top of the capping must slope a minimum of 5 degrees.



4.2.4 + Parapet Walls Capping

+ SEALANT REQUIRED TO THE JOINTS



No sealant (or degraded sealant) noted in the capping joints.

National Construction Codes (NCC) - 3.5.4.8 Parapet cappings:

(c)(iii) Capping must have sealant installed between laps.



4.2.5 + Parapet Walls Capping

INCONSISTENT GAP



4.3.1 + Flashing and capping

+ IMPROPER INSTALLATION



Flashing/sealing installed improperly and needs adjustment.

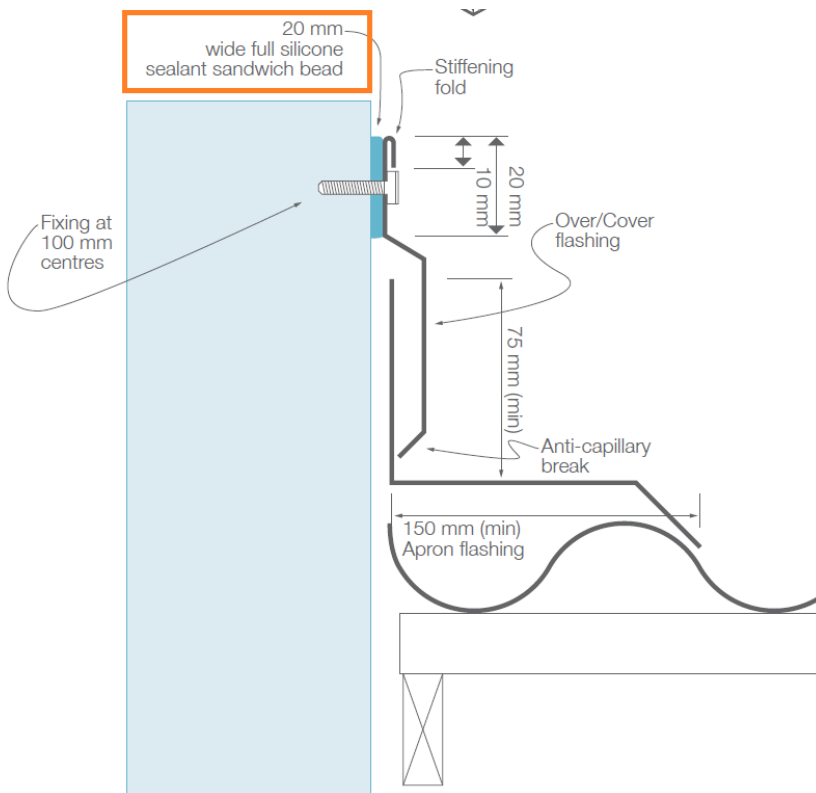
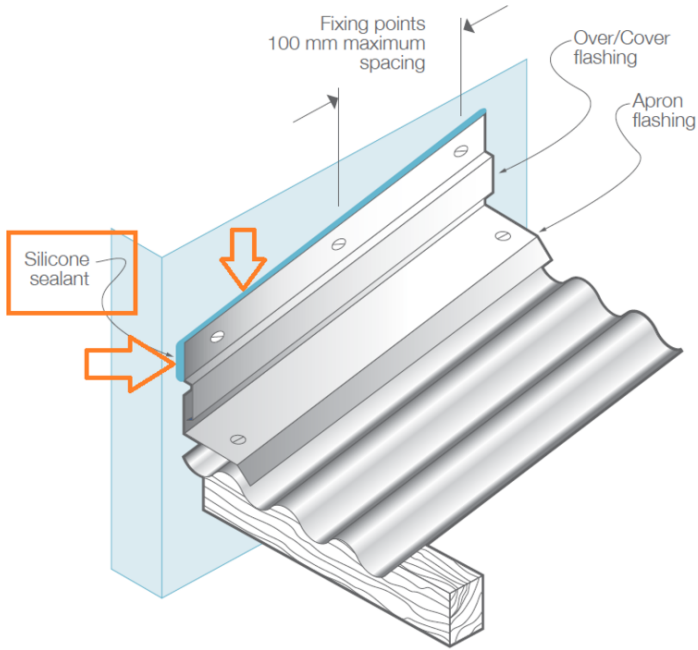


4.3.2 + Flashing and capping

+ APRON FLASHING/WALL JOINT - SEAL REQUIRED TO TOP AND SIDES



The joints between the wall/flashings must be full sealed on top and sides.

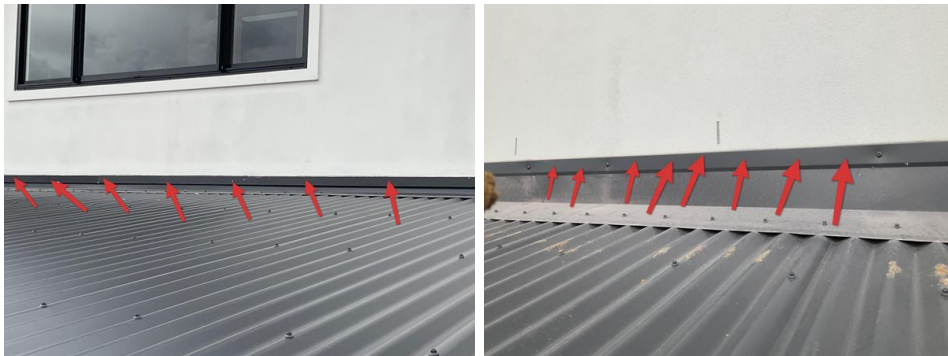
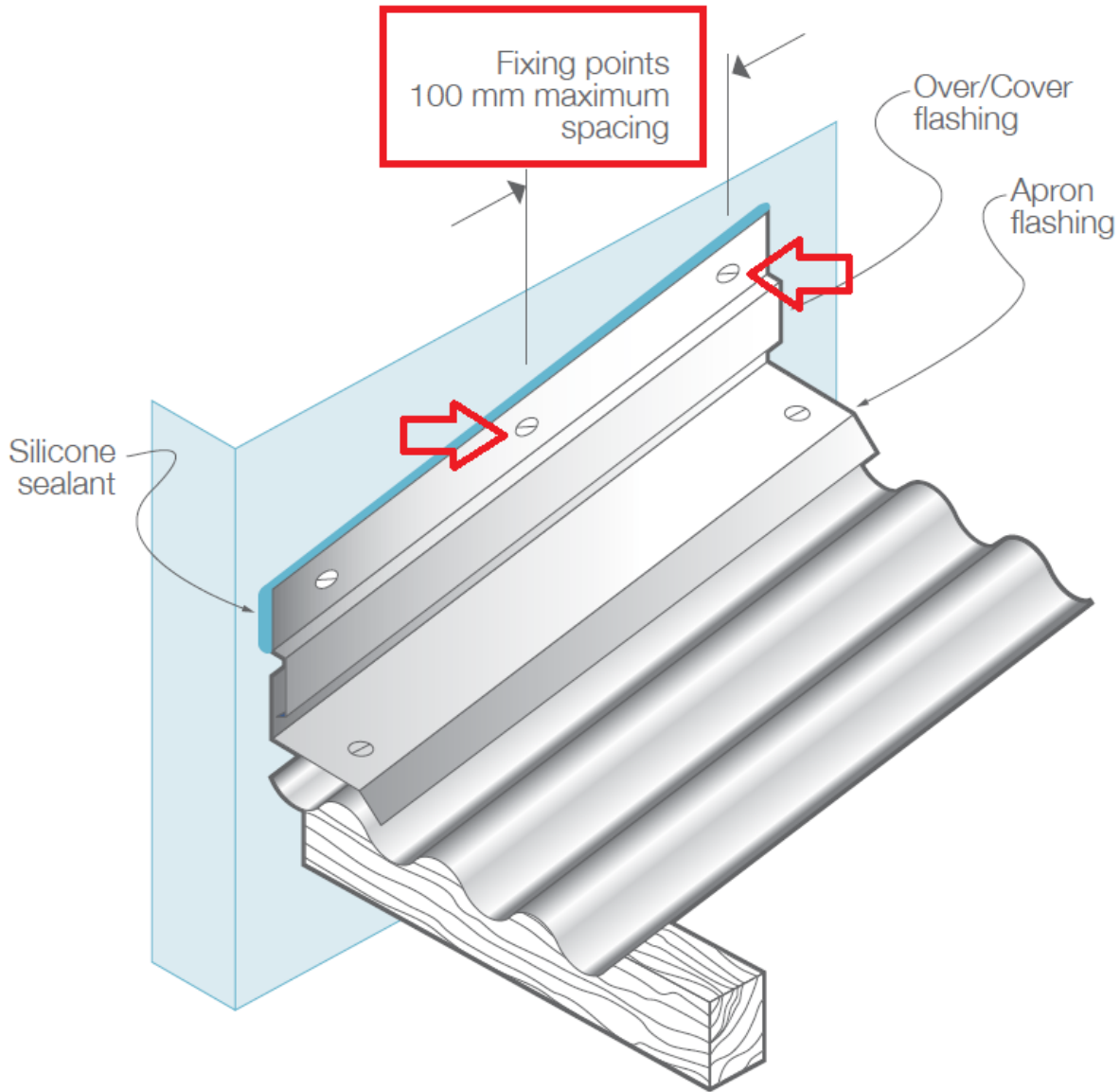


4.3.3 + Flashing and capping

 Major Structural Defects/Safety Hazards

+ APRON FLASHING/WALL JOINT - FIXING INTERVALS >100MM

The apron flashing fixing to the wall/cladding exceeds the maximum allowance of 100mm. Additional fixing required to prevent the flashing from detaching from the cladding and damaging the seals.



4.3.4 + Flashing and capping

JOINT FIXING REQUIRED



Left

5: + ROOF DRAINAGE SYSTEM

		F	G	D	M	U	N
5.1	+ Gutter and Fascia			X			
5.2	+ Rainheads						X
5.3	+ Downpipes			X			
5.4	+ Downpipe spreaders						
5.5	+ Flashings			X	X		
5.6	+ Air conditioner Drainage						X

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

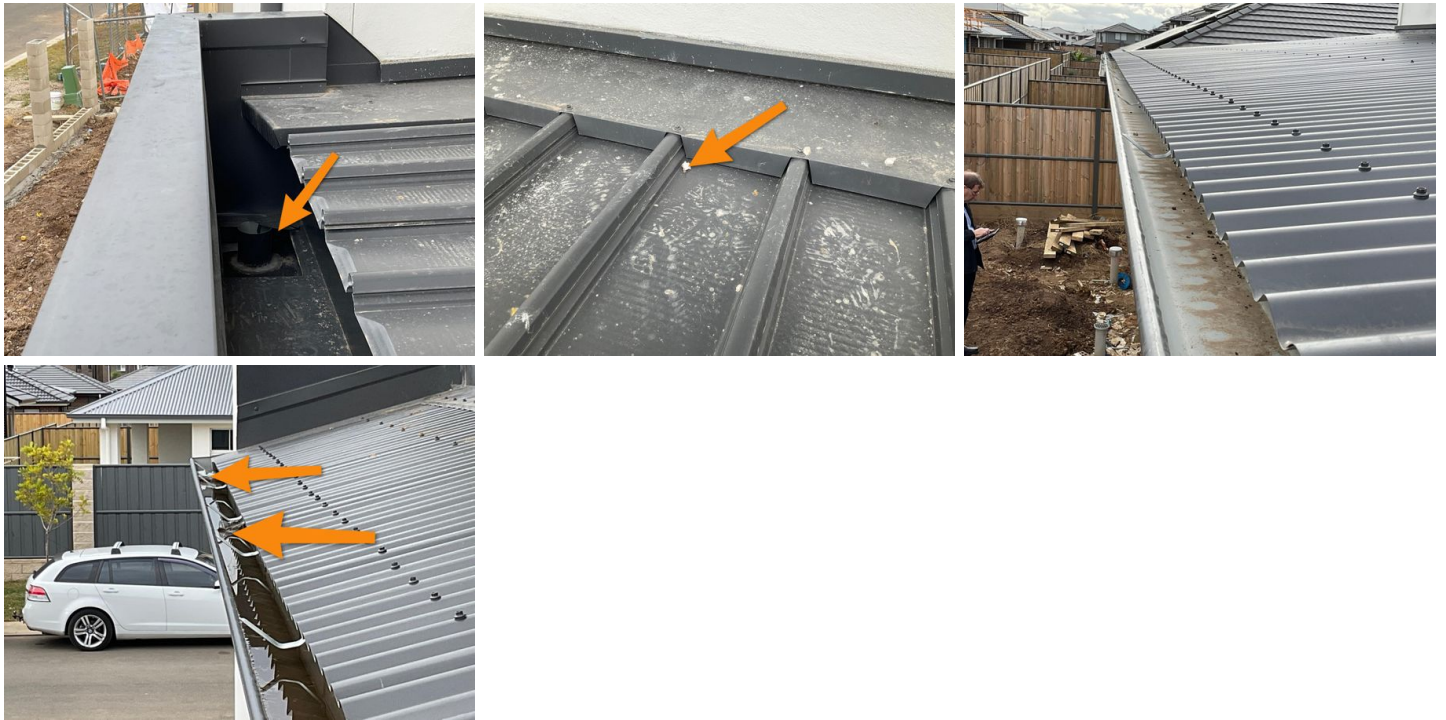
5.1.1 + Gutter and Fascia

**+ REMOVE DEBRIS**

Many debris found in gutters around the dwelling. All debris to be removed from gutters as soon as possible to prevent them from entering the downpipes and causing water damage.

Installation of each new or altered section of the roof drainage system shall comply with the following:

- (a) There shall be no restrictions to the free flow of stormwater due to-
 - (i) protrusions or other obstructions; or
 - (ii) debris (e.g. cement, mortar, clippings and similar debris).**
- (b) All accessories shall be effectively fixed and securely anchored.



5.1.2 + Gutter and Fascia

+ BRACKETS - NOT CLIPPED

Defects

One or more gutter brackets not clipped or securely fixed.

3.5.3.4 Installation of gutters

- (a) Gutters must be installed with a fall of not less than—
- (i) 1:500 for eaves gutters, unless fixed to metal fascias; and
 - (ii) 1:100 for box gutters.
- (b) Eaves gutters must be—
- (i) supported by brackets securely fixed at stop ends and at not more than 1.2 m centres; and
 - (ii) be capable of removing the overflow volume specified in [Table 3.5.3.3a](#) and [Table 3.5.3.3b](#).
- (c) Overflow measures in accordance with [Table 3.5.3.4a](#) and [Table 3.5.3.4b](#) are deemed to be capable of removing the overflow volume specified in that Table.



Rear



Rear



Rear

5.1.3 + Gutter and Fascia

+ WATER PONDING / WRONG SLOPING

Major Structural Defects/Safety Hazards

Water stays in one or more areas in gutters. the gutters must have the minimum fall as to be below regulation to avoid water ponding and gutter corrosion:

3.5.3.4 Installation of gutters

- (a) Gutters must be installed with a fall of not less than—
- (i) 1:500 for eaves gutters, unless fixed to metal fascias; and
 - (ii) 1:100 for box gutters.



5.1.4 + Gutter and Fascia
CLEANING REQUIRED

Defects



Rear

5.3.1 + Downpipes
NO PAINTED

Defects



5.4.1 + Downpipe spreaders
+ VISUALLY FINE

General Advice/Maintenance Items

Spreaders are installed and are visually fine.

5.4.2 + Downpipe spreaders
CRACKED

Major Structural Defects/Safety Hazards



6: + HOUSE EXTERNAL

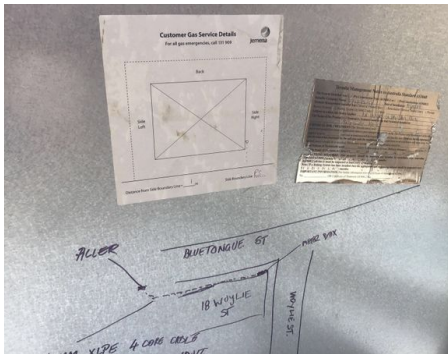
		F	G	D	M	U	N
6.1	+ General views of house EXTERNAL		X				
6.2	+ Fence / Gate			X			
6.3	+ Eaves			X	X		
6.4	+ Retaining Walls						X
6.5	+ Windows (External)			X	X		
6.6	+ Doors (External)			X			
6.7	+ External Appliances		X				
6.8	+ Stairs (External)						X
6.9	+ Balustrades/Handrails (External)						X
6.10	+ Termite Management Notice		X				
6.11	+ Fire Safety		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ Termite Management Notice: + Termite Protection Certificate to be provided to client

Builder to provide a copy of the termite protection certificate to client prior to handover.



Observations

6.1.1 + General views of house EXTERNAL

General Advice/Maintenance Items

+ GENERAL VIEWS OF THE HOUSE EXTERNAL



6.1.2 + General views of house EXTERNAL

Defects

DAMAGED RENDER

RIGHT

Around gas & water supplies

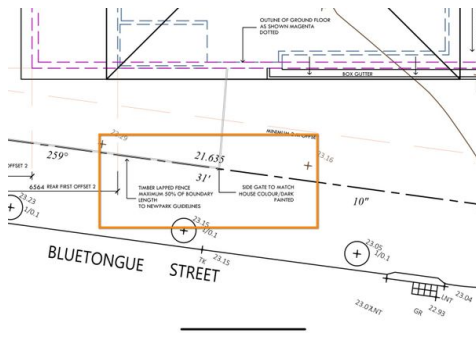


6.2.1 + Fence / Gate

Defects

+ NOT INSTALLED

The boundary fence was not installed at the time of the inspection.



6.2.2 + Fence / Gate

Defects

CHECK THE ENGINEERING

No engineering provided. It seems some bars missing. Builder to check with the engineer and get certificate.

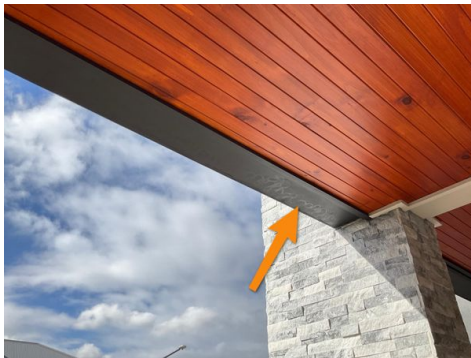


6.3.1 + Eaves

Defects

+ WATER STAINING/DAMAGE NOTED

Water Staining/Damage noted in or more areas of eaves which can be due to leaking roof, overflow gutter, damaged flashing, damaged sisalation or any other possible reasons. Builder to investigate the source of the water stain/damages and fix the defect prior to the handover.



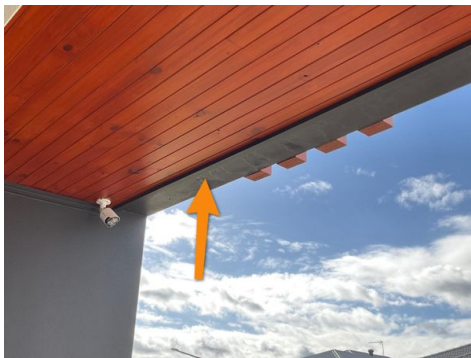
Garage Front



Garage Front



Garage Front



Garage Front

6.3.2 + Eaves

+ DEFECTIVE SURFACE



Eave surface noted defective at one or more areas. Fixing/replacement required.



Left Front

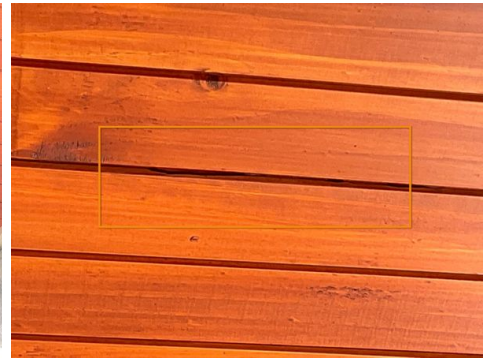
Ground Floor Left

6.3.3 + Eaves

+ POOR JOINT SETTING



The joint between the eaves and cladding set up with poor workmanship quality.



Garage Front



Front Left

6.3.4 + Eaves

+ NOT LEVEL

Defects

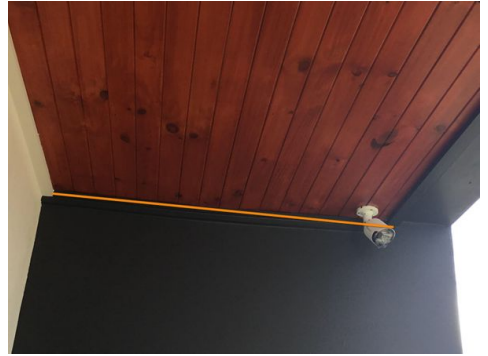
The eave is not level in some areas. Rectification required.



Garage Front



Garage Front



Garage Front Right

6.3.5 + Eaves

+ HOLES NOTED

Defects

One or more unfilled holes found in the eave linings. All holes must be filled, sanded and painted.



Porch



6.3.6 + Eaves

DOWNLIGHT HOLE VISIBLE

Major Structural Defects/Safety Hazards



6.5.1 + Windows (External)

 Major Structural Defects/Safety Hazards

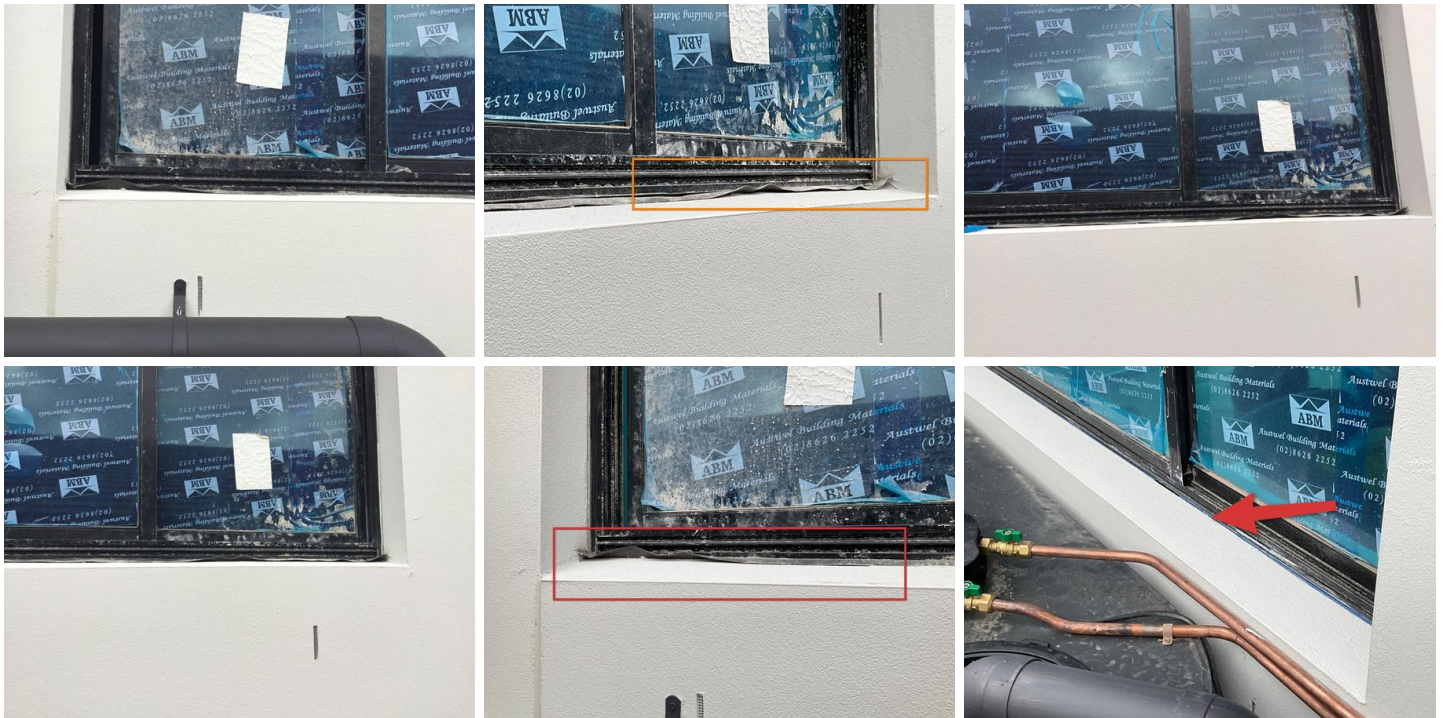
+ RUBBER FLASHING ADJUSTMENT REQUIRED

Window rubber flashings to be adjusted so that they sit properly between the window and cladding and preventing rainwater from entering the building.

Photos are showing only a few of them. Builder to check and fix all window flashings.

8.01 Installation of external windows and doors

Unless documented otherwise, external windows and doors are defective if they are not installed and flashed in accordance with the manufacturer's installation instructions.



6.5.2 + Windows (External)

 Defects

+ CAULKING REQUIRED TO TOP/SIDES

Where the gap between the window (or door) and the external cladding is excessive and can not be covered by the bottom/side flashings, such gaps must be caulked using the same colour proper caulking material.



6.5.3 + Windows (External)

 General Advice/Maintenance Items

+ FLY SCREENS NOT INSTALLED

Flyscreens have not been provided to all windows/doors. Builder to confirm if it is not as a part of the building contract (or variation) or requirement of bushfire (BAL) rating.

6.6.1 + Doors (External)

 Defects

+ DOOR DOES NOT FLUSH WITH FRAME

The door does not flush with the frame. Adjustment required.

8.01 Installation of external windows and doors

Unless documented otherwise, external windows and doors are defective if they are not installed and flashed in accordance with the manufacturer's installation instructions.



6.6.2 + Doors (External)

 Defects

+ DAMAGED

There is notable damage to the door and/or door frame.



6.6.3 + Doors (External)

 Defects

WRONG CAULKING COLOUR

The caulking not matching with the door frame



Entrance

6.7.1 + External Appliances

+ GAS HOT WATER NOT INSTALLED PROPERLY

RIGHT

The external appliances have not been installed at the time of inspection. It is usual to install the at the time of handover to prevent them from theft.



Right

6.7.2 + External Appliances

+ INSTALLED

The external appliances are installed and are appears visually fine. Unable to test as not all utilities were connected at the time of inspection.

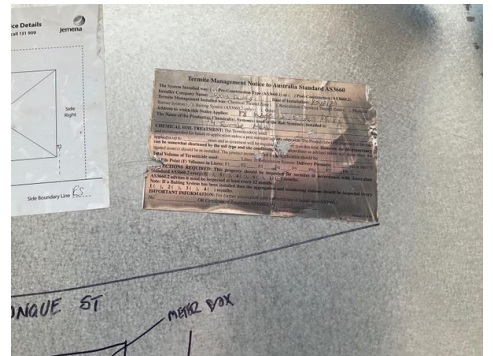
Note: testing the appliances is not included in the building inspection scope of work. Builder to provide the certificate of the installation of the appliances to the property owner.



6.10.1 + Termite Management Notice

+ INSTALLED

Termite management notice found in the metrebox. Client to check and follow the instructions regularly to make sure the house stays protected from pest and termite.



7: + EXTERNAL WALL/CLADDING

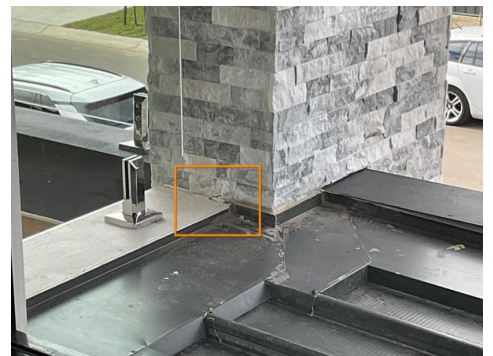
		F	G	D	M	U	N
7.1	+ Brickworks						
7.2	+ Mortar						X
7.3	+ Render				X		
7.4	+ Hebel						X
7.5	+ Control Joints			X			
7.6	+ Joints/Infills/Caulking			X			
7.7	+ Window Sills	X					
7.8	+ Weep holes			X			
7.9	+ Pipe penetrations			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

7.1.1 + Brickworks

THE STONE CLADDING IS BROKEN



7.3.1 + Render

+ DAMAGED/DEFECTIVE

 Major Structural Defects/Safety Hazards

One or more parts of the render are damaged/defective and need repair/patching. Builder to ensure the colour integrity is maintained.



Porch



Left Front



Left



above laundry door



Ground Floor Left



Ground Floor Rear



7.3.2 + Render

Defects

+ RENDER CRACKED

Cracks have appeared in one or more areas of cladding.

9.08 Cracking in applied finishes used over lightweight substrate

Cracks or open joints in finishes applied to lightweight substrate are defective if they exist at handover or exceed 1 mm in width within the first 24 months and can be seen from a normal viewing position².

Cracks or open joints in finishes applied to lightweight sheet substrate are defective if they allow the ingress of water.



Left Ground Floor

7.3.3 + Render

CLEANING

Spot clean render areas



Left Front

7.5.1 + Control Joints

+ SEALANT REQUIRED



Expansion joints to be sealed with mastic sealant to prevent water from entering the building.

All mortar/debris to be removed from the expansion joints prior to applying the sealant.

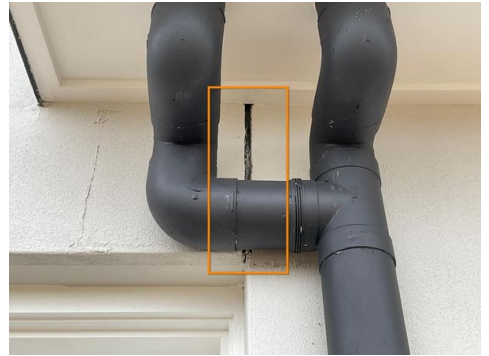
9.07 Covering movement control joints and damp-proof courses

Mouldings and inflexible covering strips are defective if they are installed across movement control joints and are fixed or restrained on both sides.

Applied finishes are defective if they impede the performance of any damp-proof course or sub-floor ventilation required in accordance with the Building Code of Australia.

With the exception of paint and recommended mastic sealants, render or other applied finishes are defective if they cover movement control joints.

Unless documented otherwise, flexible mastic or sealant is defective if it does not match as close as practicable the colour of the adjacent surface and has not been used in accordance with the manufacturer's installation instructions.



Left

7.6.1 + Joints/Infills/Caulking

+ DOOR/WINDOW INFILLS REQUIRED

Infill required to sides and above windows and doors.



Ground Floor Left

7.6.2 + Joints/Infills/Caulking

+ CAULK AROUND HWS

Around the HWS to be caulked.



7.6.3 + Joints/Infills/Caulking

GAPS TO EXTERNAL WALLS

BACK PORCH

Gaps to parts of external walls need caulking to reduce the risk of water penetration.



Rear Porch

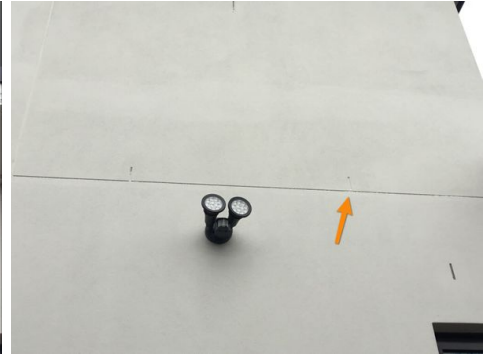
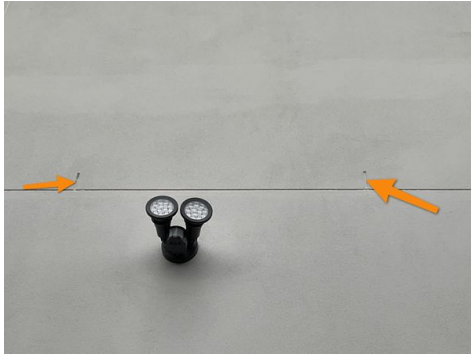
7.8.1 + Weep holes



+ OBSTRUCTED WEEP HOLES

Some weep holes found to be obstructed by mortar or render.

All mortar/render to be removed from the weep hole to ensure the ventilation is not obstructed.



Right

8: + SITE DRAINAGE

		F	G	D	M	U	N
8.1	+ Site Grading			X			
8.2	+ Silt Pits						X
8.3	+ Stormwater Drainage System (Underground)			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

8.1.1 + Site Grading

**+ GRADING IS REQUIRED**

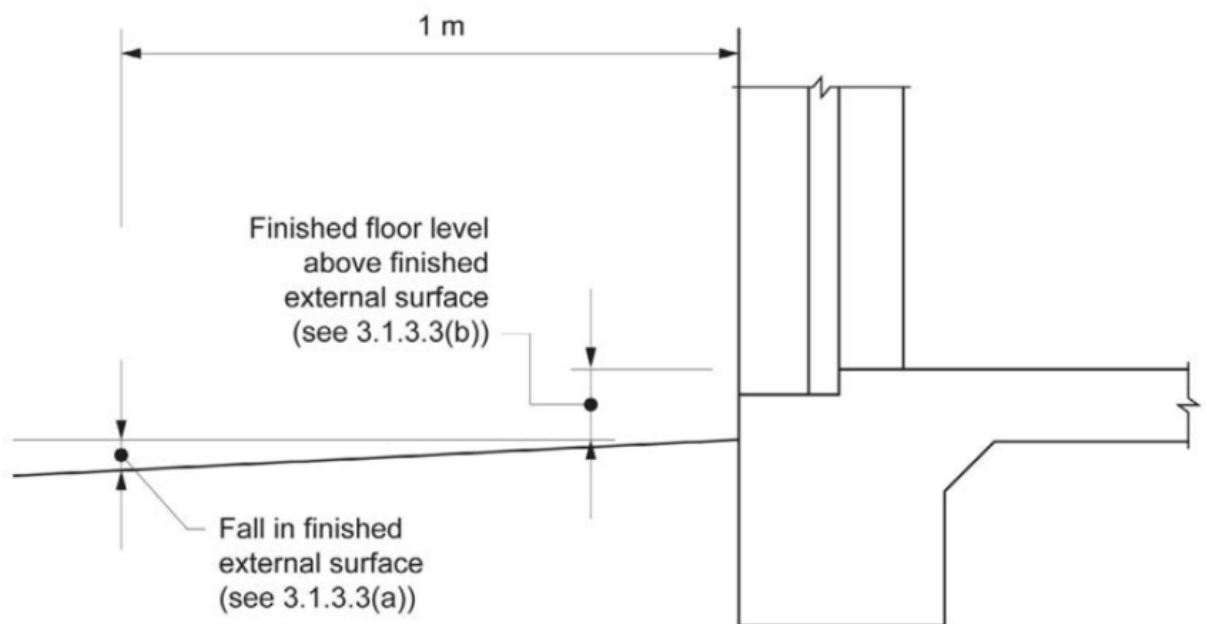
Grading has not been completely done yet. It has to be done according to the standards to keep the rainwater away from the slab.

3.1.3.3 Surface water drainage

Surface water must be diverted away from Class 1 buildings as follows:

- (a) Slab-on-ground — finished ground level adjacent to buildings:
 - the external finished surface surrounding the slab must be drained to move *surface water* away from the building and graded to give a slope of not less than (see [Figure 3.1.3.2](#))—
 - (i) 25 mm over the first 1 m from the building in *low rainfall intensity areas* for surfaces that are reasonably impermeable (such as concrete or clay paving); or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground — finished slab heights:
 - the height of the slab-on-ground above external finished surfaces must be not less than (see [Figure 3.1.3.2](#))—
 - (i) 100 mm above the finished ground level in *low rainfall intensity areas* or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concreted areas) that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.

Figure 3.1.3.2 Site surface drainage





8.1.2 + Site Grading

REMOVE EXCESSIVE MATERIAL FROM THE SITE

Defects



8.3.1 + Stormwater Drainage System (Underground)

+ EXPOSED PIPE - INSUFFICIENT COVER

Defects

Sections of external Stormwater or water pipes are exposed and not covered in the ground. All underground pipes must be covered to prevent them from any possible damages.



Front



8.3.2 + Stormwater Drainage System (Underground)

EXTERNAL DRAINAGE / TAP

Drain to high plus not directly under Tap



Front Right

9: + GARAGE/CARPORT/DRIVEWAY/PATHWAY

		F	G	D	M	U	N
9.1	+ General		X				
9.2	+ Automatic Roller/Sectional Door(s)			X			
9.3	+ Floor (Slab Surface Finish)			X			
9.4	+ Driveway/Pathways			X	X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ Driveway/Pathways: Driveway
Material
 Concrete

Limitations

+ Floor (Slab Surface Finish)

+ SLAB SURFACE INSPECTION WAS RESTRICTED BY:

Stored Material



+ Driveway/Pathways

STORED MATERIAL

+ Driveway/Pathways

BIN



Observations

9.1.1 + General

+ GENERAL VIEWS

General views of the garage at time of inspection.

 General Advice/Maintenance Items



9.2.1 + Automatic Roller/Sectional Door(s)



+ NOT WORKING

The garage front door electric opener was inoperable or not connected at the time of inspection. Recommend re-attached or repaired by qualified professional.



9.3.1 + Floor (Slab Surface Finish)



CLEANING

Remove all stains from concrete slab



9.4.1 + Driveway/Pathways



+ INCOMPLETE

Driveway and/or pathways were not built at the time of inspection. If the driveway is a part of the main contract, the final invoice payment to the builder can be postponed until the driveway completed.



9.4.2 + Driveway/Pathways

EXPANSION JOINT NOT STRAIGHT



9.4.3 + Driveway/Pathways

EXPANSION JOINT NOT STRAIGHT.

Expansion joint not straight.



9.4.4 + Driveway/Pathways

JOINT NOT STRAIGHT



9.4.5 + Driveway/Pathways

GARAGE EXPANSION JOINT NOT STRAIGHT



9.4.6 + Driveway/Pathways

GARAGE SURPLUS MATERIALS



10: + BALCONY

		F	G	D	M	U	N
10.1	+ General		X				
10.2	+ Drainage	X					
10.3	+ Floor and Walls			X			
10.4	+ Balustrades/Handrails	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

10.1.1 + General

+ GENERAL VIEWS OF THE BALCONY

 General Advice/Maintenance Items



10.1.2 + General

BBQ CABINET

Hole in shelf

 Defects



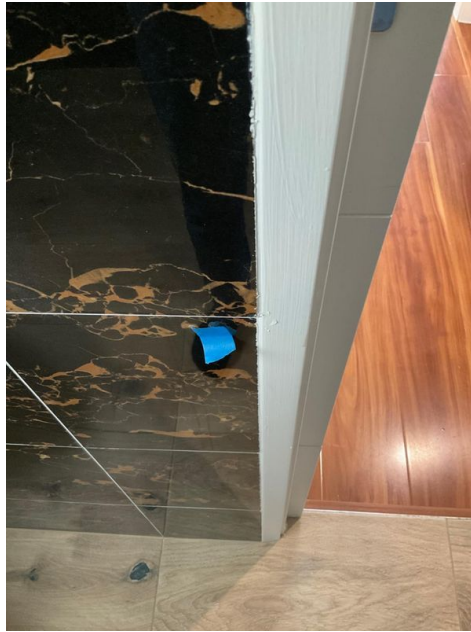
Porch Rear

10.3.1 + Floor and Walls

+ POOR JOINT SETTINGS



Poor workmanship noted in the wall/floor joints



Ensuite

11: + ROOF SPACE (INTERNAL)

		F	G	D	M	U	N
11.1	+ General		X				
11.2	+ Roof Structure	X					
11.3	+ Tile underneath						X
11.4	+ Insulation				X		
11.5	+ Sarking/Sisolation			X			
11.6	+ Flashing around penetrations						X
11.7	+ Heating/Cooling Unit						X
11.8	+ Heating/Cooling Ducts				X		
11.9	+ Lights/Downlights/Cables				X		
11.10	+ Roof Space Ventilation	X					
11.11	+ Manhole Opening			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ General: + Inspection Method

Roof Walked

Limitations

+ General

+ ROOF SPACE LIGHT NOT INSTALLED/WORKING

Unable to locate roof space light.



+ General

+ THE LIMITATIONS RESTRICTED THE INSPECTOR'S INSPECTION:

Ducts, Insulation

+ Heating/Cooling Unit

DUCTS



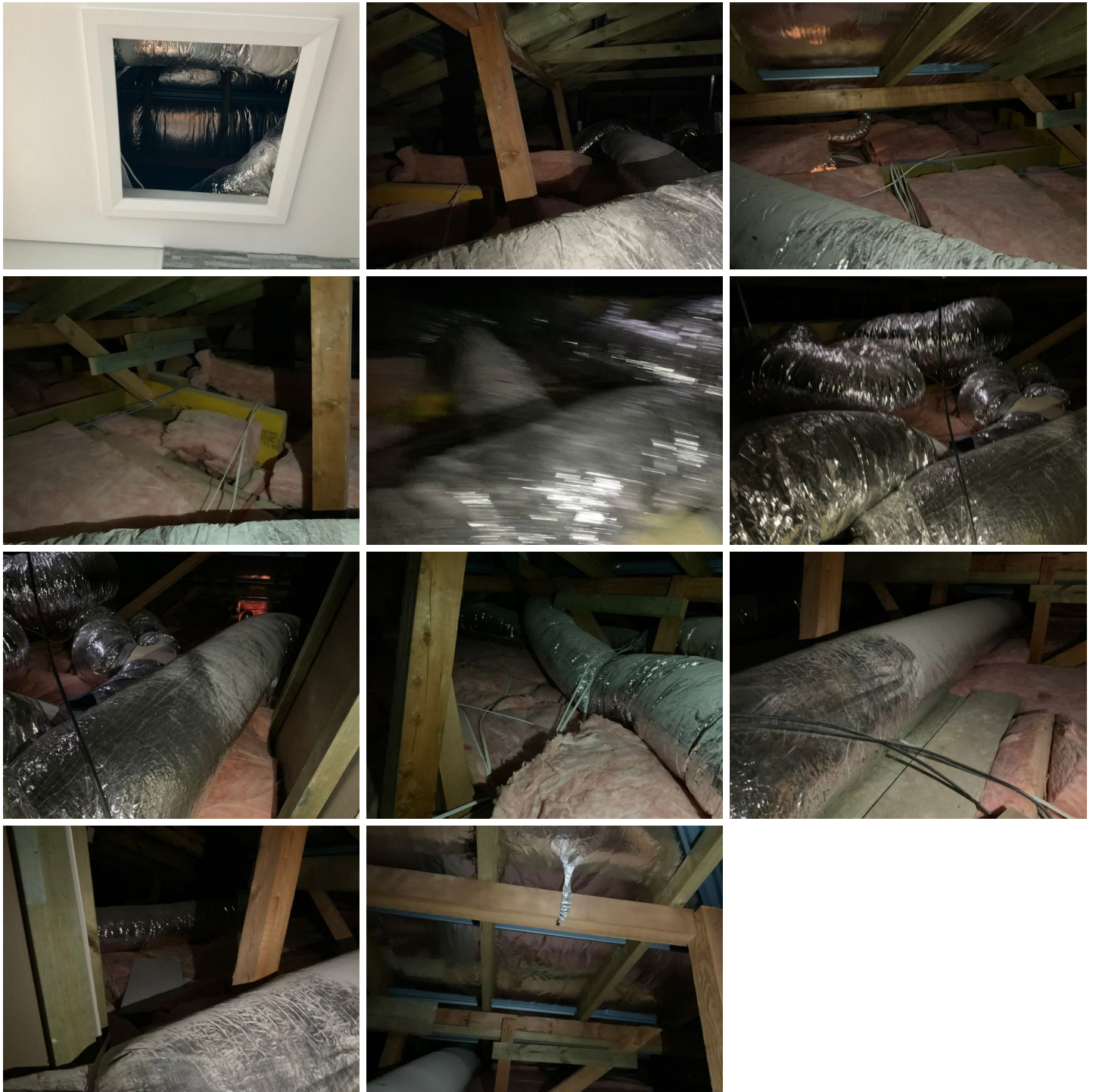
Observations

11.1.1 + General

+ GENERAL VIEWS

 General Advice/Maintenance Items

The general views of the roof space at the time of inspection

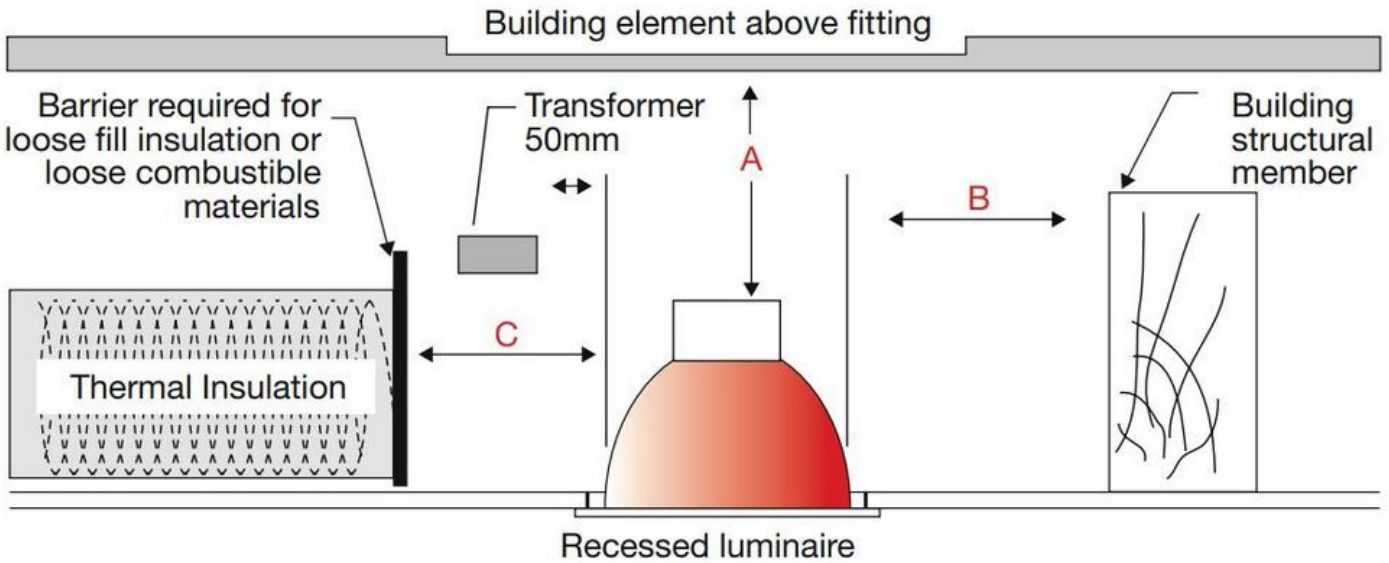


11.4.1 + Insulation

Major Structural Defects/Safety Hazards

+ DOWNLIGHTS MINIMUM CLEARANCE REQUIRED

Recessed luminaires and their auxiliary equipment shall be installed in a manner designed to minimise temperature rise and prevent the risk of fire. The temperature rise at the rear of a recessed luminaire shall be limited to prevent damage to adjacent materials. This requirement shall be satisfied according to the shown Figure 4.7



DIMENSION	INCANDESCENT	HALOGEN LAMP
A - Clearance above luminaire	50mm	200mm
B - Side clearance to structural member	100mm	200mm
C - Clearance to thermal insulation	50mm	200mm
D - Clearance to supply transformer	50mm	

FIGURE 4.7 DEFAULT MINIMUM CLEARANCE FOR RECESSED LUMINAIRES



Note: This photo is for information only and is NOT taken in this project.



11.5.1 + Sarking/Sisolation

Defects

+ SARKING IS DAMAGED OR CUT

One or more sections of the roof sarking is damaged or cut. These parts need to be fixed to avoid water leaking.

Sarking is the sheet material which can be put over the roof trusses before the final roof covering is installed. It's normally standard on a metal roof as it prevents condensation on the underside of a roof from dropping onto the ceiling below.



11.8.1 + Heating/Cooling Ducts

Major Structural Defects/Safety Hazards

ABOVE THE MANHOLE

The ducts running above the manhole which can be damaged when moving the manhole cover or walking into the roof



11.9.1 + Lights/Downlights/Cables

Major Structural Defects/Safety Hazards

CABLES ON THE MANHOLE

The cable is above the manhole. Safety hazard



11.11.1 + Manhole Opening

Defects

ACCESS OBSTRUCTION



12: + HOUSE INTERNAL

		F	G	D	M	U	N
12.1	+ General views of the house INTERNAL		X				
12.2	+ General Painting Defects				X		
12.3	+ General Tiling			X	X		
12.4	+ General Cracks			X			
12.5	+ General Cleaning			X			
12.6	+ Doors (Internal)			X			
12.7	+ Ceiling/Wall plaster			X			
12.8	+ Skirtings / Architraves			X			
12.9	+ Windows			X			
12.10	+ Flooring - Timber			X			
12.11	+ Flooring - Carpet						X
12.12	+ H/C vents/grilles/outlets			X			
12.13	+ Lights/switches/downlights			X			
12.14	+ Smoke Detectors		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

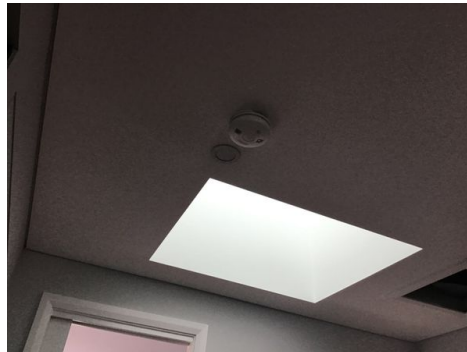
Information

+ Smoke Detectors: + Smoke detectors testing

All smoke detectors must be tested by a qualified electrician.



1st Floor Living/Dinning Room



1st Floor Living/Dinning Room

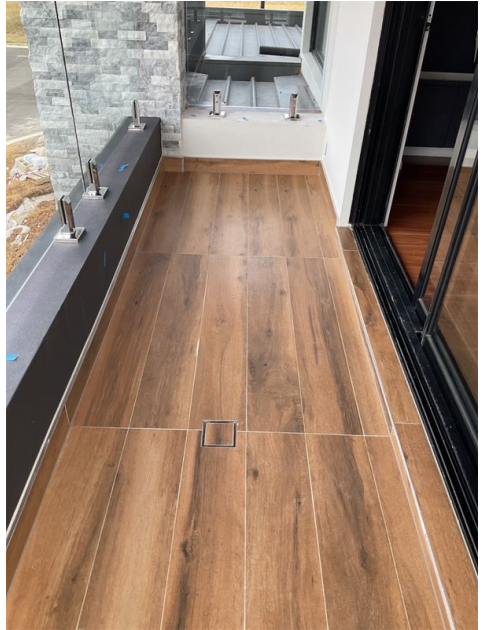
Observations

12.1.1 + General views of the house INTERNAL

+ GENERAL VIEWS OF THE HOUSE INTERNAL

 General Advice/Maintenance Items

General views of the living areas at the time of inspection.



12.2.1 + General Painting Defects



+ GENERAL PAINTING DEFECTS THROUGHOUT THE DWELLING

Paintwork is defective in several areas and marked by flagging tape. These defects must be fixed prior to the handover. Please refer to the photos for more details.

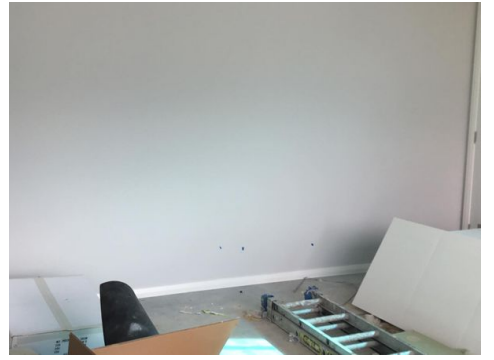
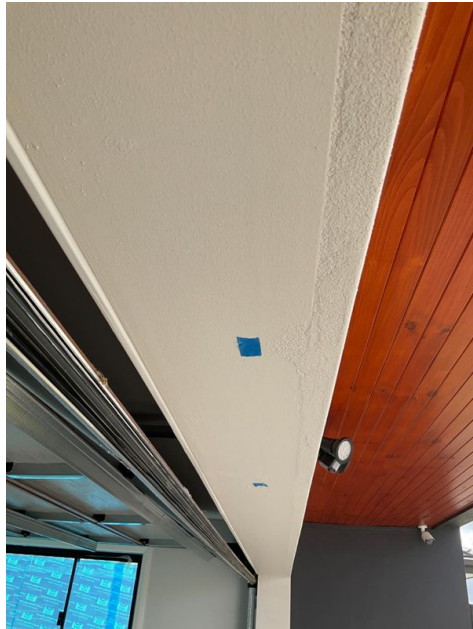
Photos may not be showing all relevant areas. Builder to check the paintwork again through the dwelling.

12.02 Surface finish of paintwork

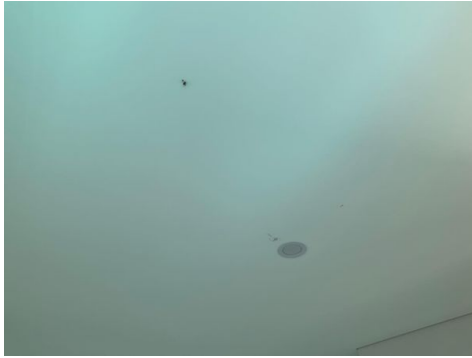
Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.





Garage Front



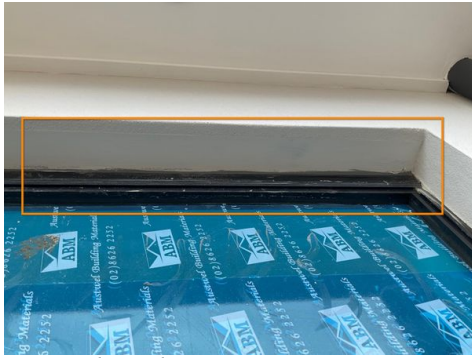
Garage ceiling



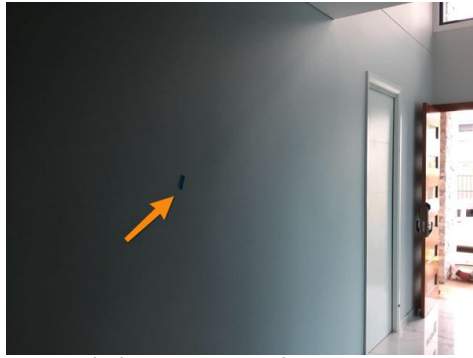
Ground Floor Front Right



Bed 3



External windows



Ground Floor Front Right



Bed 3



Bed 3





Bed 3

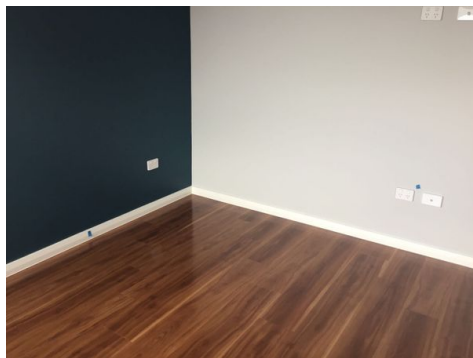


Bed 4

Bed 4



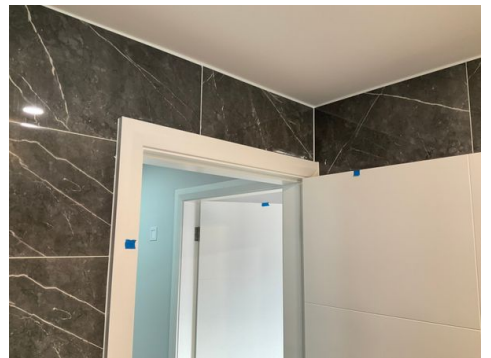
1st Floor Living/Dinning Room

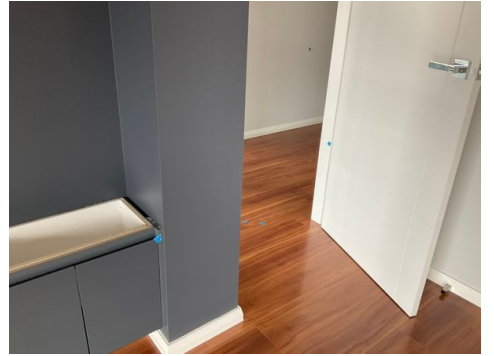


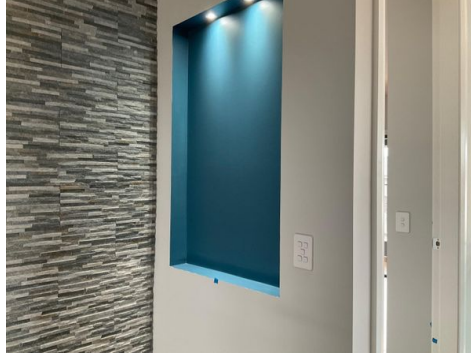
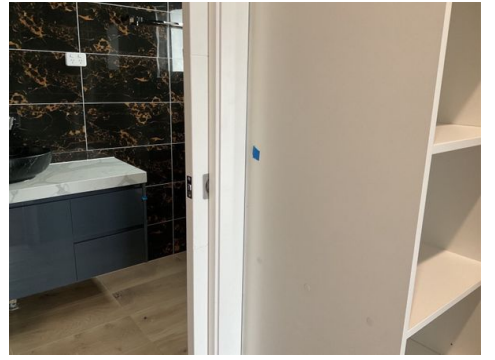
1st Floor Living/Dinning Room



Paint overspray 1st Floor skylight







Kitchen



12.2.2 + General Painting Defects

**+ DOORS TOP/BOTTOM NOT PAINTED**

Several doors top/bottom throughout the dwelling noted unpainted.

Timber is a product that is greatly affected by changes in moisture. The change in moisture can lead to timber doors warping, swelling and jamming. The simple act of sealing or painting the edges of the door leaves helps to combat moisture absorption in the doors and the need to either replace the doors or come back time and time again to refit the doors.

This applies to newly hung doors as well as doors that have been altered or refitted due to movement, binding or refitting after an alteration or renovation of an existing house. The entire door should be painted immediately after fitting and before hanging; this includes behind the hinges and lock, and most importantly, the top and bottom edges.

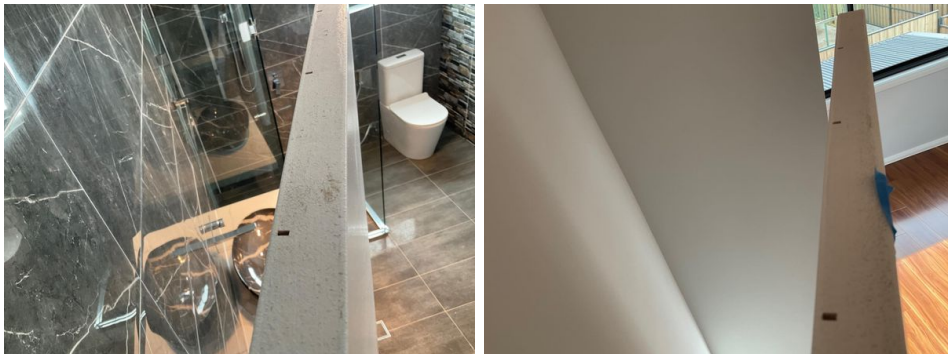
The Guide to Standard and Tolerance 2015 Part 8.06, deemed it a defect if the door leaves are not sealed/painted on all sides, top and bottom edges in accordance with the manufactures instructions. In most cases, the manufacturer requires the top and bottom of the doors to receive the same number of coats of paint as the door face.

The Standard and Tolerance Guide also provides a paint durability table that outlines the minimum durability time allowed for painted coatings whether acrylic or enamel. This is a useful guide when deciding if there might be a defect associated with the paintwork.

Note: the standards for painting must be either in accordance with the manufacturer's installation requirements or AS/NZ 2311. 2009 Guide to the painting of buildings.

8.06 Sealing of door edges

Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.



12.3.1 + General Tiling



Major Structural Defects/Safety Hazards

+

CRACKED/CHIPPED TILES

Some tiles found to be cracked/chipped and need replacement.

11.05 Cracked, pitted, chipped, scratched or loose tiles

Tiles are defective if they are cracked, pitted, chipped, scratched or loose at handover.

After handover, tiles are defective where the builder's workmanship causes the tiles to become cracked, pitted, chipped or loose within 24 months.



Bathroom

12.3.2 + General Tiling



Defects

+ GROUTING/JOINTS DEFECTIVE

Tile grouting and/or joint finishing found to be of poor quality in one or more areas. Adequate rectification is required.

11.06 Grouting and joints

Grouting is defective if it is not carried out in accordance with the requirements of Clause 5.7 of AS 3958.1.

Joints are defective if they are not, as far as is practicable, of consistent width and can be seen from a normal viewing position.

Finished grout is defective if it is not uniform in colour, smooth, without voids, pinholes or low spots.

- The top surface of the grout may be tooled to provide a contoured depression of no deeper than 1 mm for up to 6 mm wide joint and up to 2 mm for a 6-10 mm wide joint (clause 5.7(e) of AS 3958.1).
- Joint widths for floor tiles should not exceed 3 mm for pressed tiles and 6 mm for extruded tiles (clause 4.6(c)(i) of AS 3958.1).
- Joint widths for wall tiles should not exceed 1.5 mm for pressed tiles and 6 mm for extruded tiles (clause 5.4.6(c)(ii) of AS 3958.1).
- Joint alignment should be consistent throughout the installation within a tolerance of 4 mm in 2 m² (clause 5.4.6(d) of AS 3958.1).

Grout is defective if it becomes loose within 24 months of handover.



12.3.3 + General Tiling



Major Structural Defects/Safety Hazards

+ INCOMPLETE

The floor covering installation was incomplete at the time of inspection.



Ensuite

12.3.4 + General Tiling

CAULKING

Complete caulking



Porch



Alfresco

12.4.1 + General Cracks

+ GENERAL CRACKS TO WALLS/CEILING/SKIRTINGS/ARCHITRAVES


Several cracks noted on the walls/skirtings/cornices throughout the dwelling and marked using the flagging tape as a defect according to *GUIDE TO STANDARDS AND TOLERANCES 2015*. These defects must be rectified prior to the handover.

Please note: the photos may not showing all the existing cracks. The builder is responsible to check the dwelling again to ensure all cracks have been rectified.

**9.13 Level of finish for plasterboard**

Unless documented otherwise, a plasterboard finish is defective if Level 4 finish (as defined below) is not provided.

Level 4 finish³

A Level 4 finish shall be the default level for gypsum lining, unless specified otherwise.

Flat or low sheen paints shall be used for this Level 4.

All joints and interior angles shall have tape embedded in jointing cement/jointing compound and a minimum of two separate coats of jointing cement/jointing compound applied over all joints, angles, fastener heads and accessories.

All jointing compound shall be finished evenly and be free of tool marks and ridges in preparation for decoration.

Notes:

1. In critical lighting conditions, surface imperfections may still be apparent in a Level 4 surface finish.
2. Where gloss, semi-gloss and deep tone paints are used, surface imperfections will be more evident.

9.14 Cracking in plasterboard, hard plaster and other plaster elements

Cracking in walls, ceilings and bulkheads is defective if it exists at handover or exceeds 1 mm in width within the first 24 months of completion and can be seen from a normal viewing position.

Cracking in recessed and butt joints is defective if it exists at handover or exceeds 1 mm in width within the first 24 months of completion and can be seen from a normal viewing position.

9.15 Cracking in cornices

Cracking of cornice joints such as butt joints and mitres, and at junctions with walls and ceilings, is defective if it exists at handover or exceeds 1 mm in width within the first 24 months of completion and can be seen from a normal viewing position.

9.16 Cracking at junctions of dissimilar materials

Cracking at junctions between dissimilar materials is defective if it exists at handover or exceeds 1 mm in width within the first 12 months of completion and can be seen from a normal viewing position.

After the first 12 months, cracking that exceeds 2 mm is considered defective⁴.

12.5.1 + General Cleaning



+ GENERAL CLEANING REQUIRED

General final cleaning throughout the house required prior to the handover.

18.08 Cleaning

Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason the owner must expect that dust may have settled on interior exposed surfaces.

Building sites are defective if they are not clear of building debris.

Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned, and shelving, drawers and cupboards ready for use.



12.6.1 + Doors (Internal)



DOOR STRIKE NOT IN LINE WITH THE DOOR LOCK

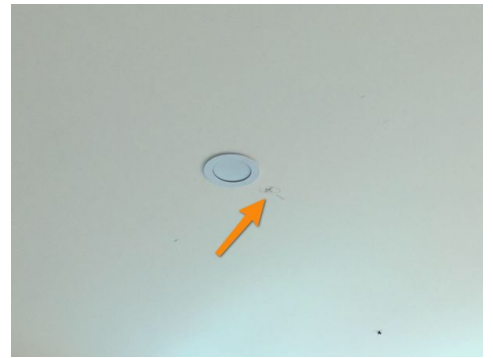


House/ Garage

12.7.1 + Ceiling/Wall plaster

+ PLASTER DAMAGED

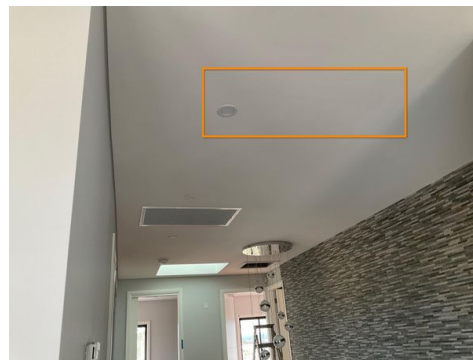
One or more areas of the wall/ceiling are damaged and need repair, patching, proper sanding and repainting.



Garage

12.7.2 + Ceiling/Wall plaster

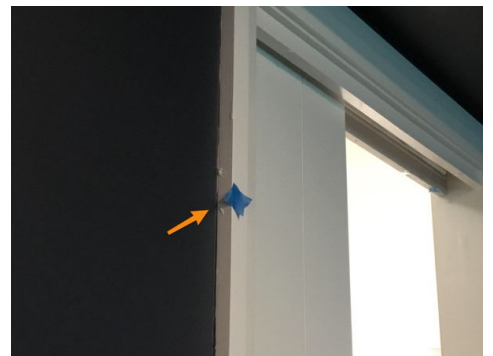
WATER STAIN NOTED



12.8.1 + Skirtings / Architraves

+ DAMAGED

Skirting was damaged at the time of inspection. Repair required.



Media room Ground Floor

12.8.2 + Skirtings / Architraves

Defects

+ NOT INSTALLED

The skirtings were not installed at the time of inspection.



1st Floor hall



1st Floor hall



Bed 3

12.9.1 + Windows

General Advice/Maintenance Items

+ FLY SCREEN NOT INSTALLED

One or more fly screens were not installed at the time of inspection. Builder to check the contract/variations is the fly screen is included.

fly screens are mandatory in Bushfire affected (BAL) areaa.

12.9.2 + Windows

Defects

GAPS

Install caulking as required



12.10.1 + Flooring - Timber

+ SQUEAKING/SPRINGY FLOORS



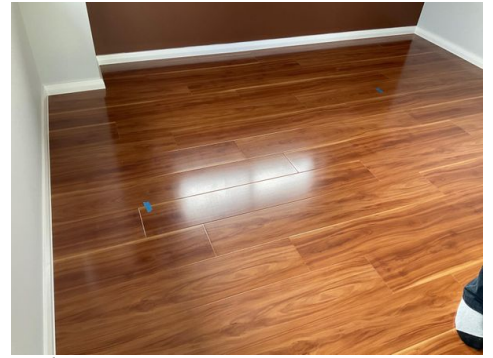
One or more areas of the floor are squeaking/springy when walking over.

14.06 Squeaking floors

Floors that consistently squeak by a person walking normally in a trafficable area within the first 24 months from handover are defective.

14.07 Springy floors

Floors that bounce in a way that can be detected by a person walking normally in a trafficable area are defective if the substructure has not been constructed in accordance with the Building Code of Australia and AS 1684.



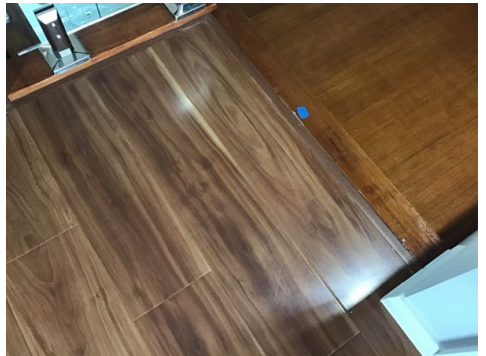
Bed 4

12.10.2 + Flooring - Timber

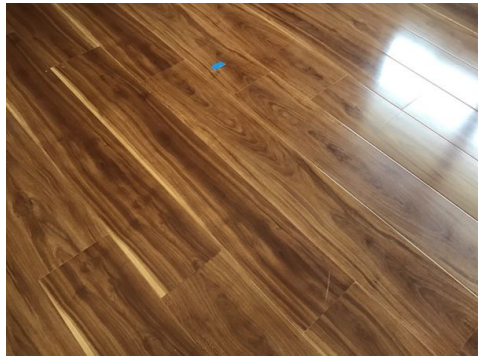
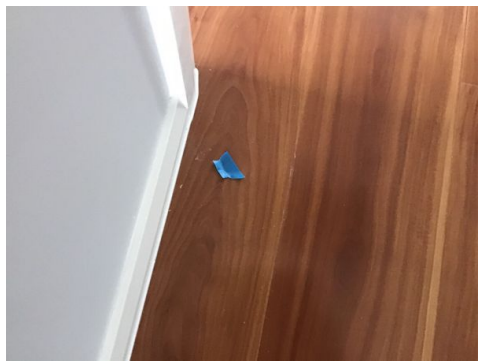
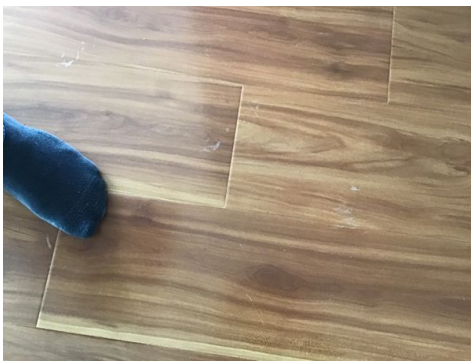


+ DAMAGED

One or more section(s) of flooring noted damaged at the time of inspection. Fixing required.



1st Floor Master Bedroom Bed 1 Bed 2
Bed 3 Living/Dinning Room



1st Floor skirts missing

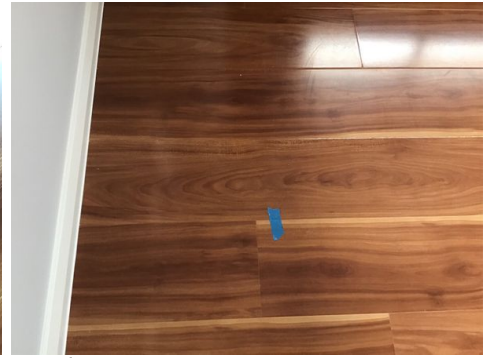
1st Floor skirt missing



1st Floor



1st Floor

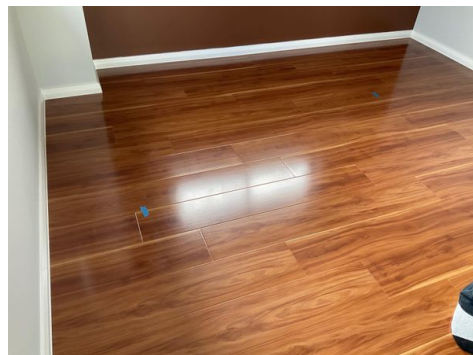
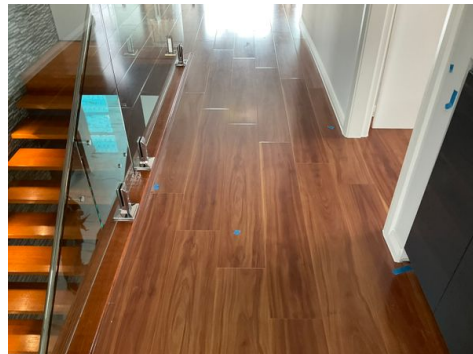
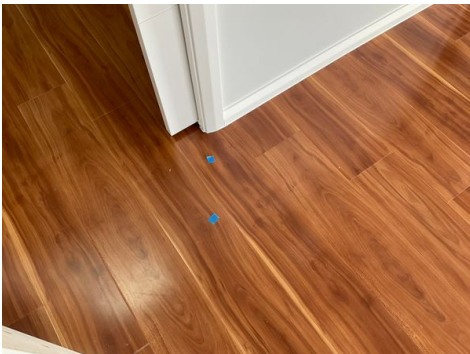


1st Floor



12.10.3 + Flooring - Timber
SCRATCHED

 Defects



12.12.1 + H/C vents/grilles/outlets
FIREPLACE NOT INSTALLED

Defects



12.13.1 + Lights/switches/downlights
+ NOT FLUSH - DOWNLIGHTS WITH CEILING

Defects

GARAGE

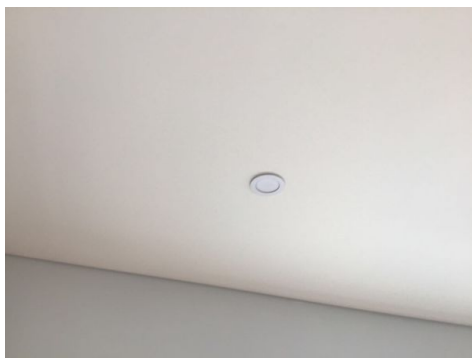
One or more downlight(s) found not flush with the ceiling plaster. Adjustment required.



Garage



Garage



Bed 4

12.13.2 + Lights/switches/downlights

+ IMPROPER INSTALLATION

One or more lights were installed improperly at the time of inspection. Fixing required. Not inline

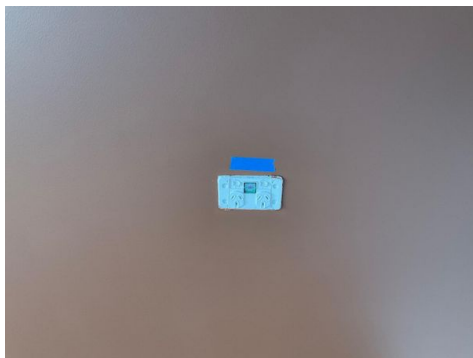


Front Porch

12.13.3 + Lights/switches/downlights

+ NOT INSTALLED - SWITCH COVER PLATE

One or more switch cover plate(s) were not installed at the time of the inspection. All the cover plates need to be installed prior to the handover to prevent any electric shock hazard.



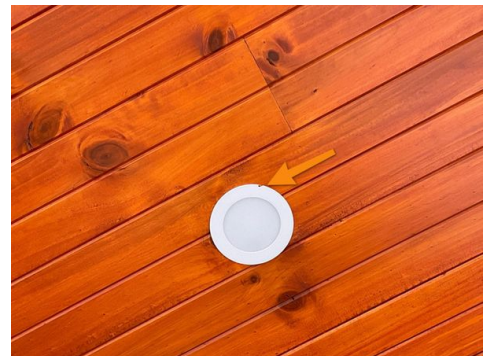
Bed 4



Kitchen

12.13.4 + Lights/switches/downlights

CLEAN THE PAINT MARK

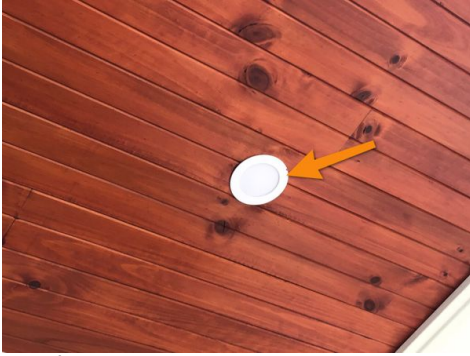


Porch

12.13.5 + Lights/switches/downlights

Defects

PAINT ON LIGHT



Porch



Porch

13: + STAIRS (INTERNAL)

		F	G	D	M	U	N
13.1	+ Stairs						
13.2	+ Balustrades/Handrails			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

13.1.1 + Stairs

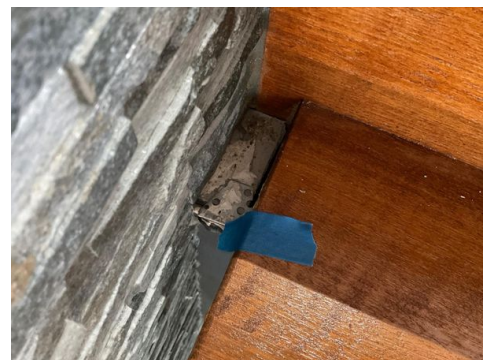
+ STAIR PAINTING

Stair painting requires



13.1.2 + Stairs

INCOMPLETE



13.2.1 + Balustrades/Handrails

**SCREWS**

Different types of screws used. Builder to check with the manufacturer and installer for the proper screw type.



14: + KITCHEN

		F	G	D	M	U	N
14.1	+ Benchtops			X			
14.2	+ Plumbing/Mixer/Taps			X			
14.3	+ Sink		X				
14.4	+ Splashbacks		X				
14.5	+ Cabinetry				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ Benchtops: Stone

Observations

14.1.1 + Benchtops

+ NOT INSTALLED

The benchtop was not installed at the time of inspection.



Master Bedroom

14.1.2 + Benchtops

+ SCRATCHED

Some scratched on the benchtop surface noted. Fixing required.



14.1.3 + Benchtops

+ POOR JOINT QUALITY

Benchtop joint finished in poor condition. Rectification is required.



Ensuite

GUIDE TO STANDARDS AND TOLERANCES 10.08

Benchtops of timber, laminate, natural stone or similar materials are defective if within six months of handover they have joints that are not uniform, close-fitted, aligned and in the same plane. These requirements also apply to vertical surfaces of similar material and finish.

Joints are defective if they are not sealed or flush-filled with a suitable flexible sealant of matching colour at the time of handover.

14.2.1 + Plumbing/Mixer/Taps

+ COVERPLATE(S) NOT INSTALLED

Coverplate(s) where plumbing pipes penetrate through cabinetry was not installed. The cover plates are mandatory to seal the cabinets against pest entering the building.



Alfresco

7.08 Pipe penetrations through external walls and inside cupboards

Plumbing holes are defective if they are not:

- properly grouted as appropriate
- fitted through neat minimal size penetrations (in the case of cabinetwork)
- fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.

14.5.1 + Cabinetry

+ CLEANING REQUIRED

Cleaning required in some areas of cabinets internal and/or on the surface.



Master Bedroom

14.5.2 + Cabinetry

+ SEALING REQUIRED



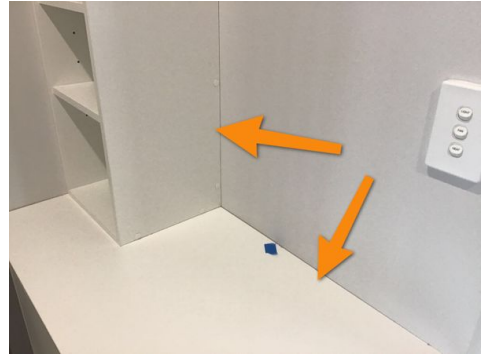
Sections of the cabinet joints with walls/floor/benchttop, windows or splashback need sealant/caulking.



1st Floor basin



1st Floor hall vanity



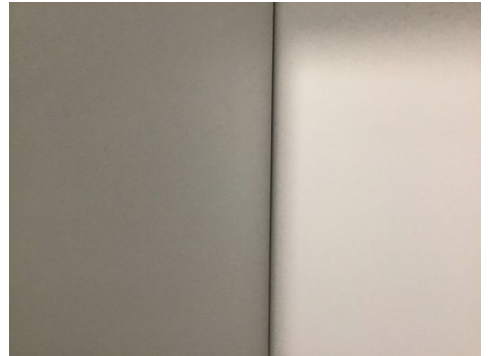
Master Bedroom



Master Bedroom



Master Bedroom



Master Bedroom

14.5.3 + Cabinetry

DRAWS OUT OF ALIGMENT



Ground Floor bed four

14.5.4 + Cabinetry

INCOMPLETE

 Major Structural Defects/Safety Hazards



Master Bedroom

15: + LAUNDRY ROOM

		F	G	D	M	U	N
15.1	+ Splashback						
15.2	+ Mixer/Taps/Plumbing						
15.3	+ Sink/Trough						
15.4	+ Cabinetry						
15.5	+ Ventilation						
15.6	+ Exhaust Fan						

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

16: + BATHROOMS/ENSUITES/TOILETS

		F	G	D	M	U	N
16.1	+ Splashback						
16.2	+ Plumbing/Mixer/Taps						
16.3	+ Shower						
16.4	+ Shower screen			X			
16.5	+ Vanity/Cabinetry						
16.6	+ Basin			X			
16.7	+ Exhaust Fan	X					
16.8	+ Bath				X		
16.9	+ Toilet			X			
16.10	+ Ventilation	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

16.4.1 + Shower screen

+ SEALING REQUIRED

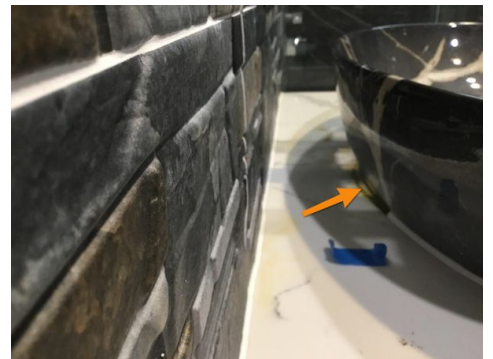
One or more sections are the shower screen still need to be watertight by applying appropriate sealant.



16.6.1 + Basin

+ POOR CAULKING WORKMANSHIP

Poor caulking quality noted which needs fixing.



Ground Floor bathroom

16.6.2 + Basin

+ SEAL AROUND BASINS



The basin premier must be sealed properly to prevent water leakage.

GUIDE TO STANDARDS AND TOLERANCES 10.09

Junctions between bench tops and adjoining surfaces are defective if they are not sealed with a suitable flexible sealant of matching or agreed colour.

Seals around items such as sinks, hand basins or the like are defective if the joint leaks or they are not installed in accordance with the manufacturer's installation requirements.



16.8.1 + Bath

+ INCONSISTENT SEALING



The sealant around the bath is inconsistent and requires fixing.



16.9.1 + Toilet

+ TOILET/FLOOR SEALANT REQUIRES



The joint between the toilet pan and floor requires sealing to the floor to prevent bacteria build-up.



17: + GLAZING

		F	G	D	M	U	N
17.1	+ Mirrors, windows and doors glasses						

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

STANDARDS OF PRACTICE

+ Roof Space (Internal)

What's inspected? Trusses, Insulation

What's not inspected? Antennae, interiors of flues or chimneys which are not readily accessible, and other installed accessories.

This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection.