



## COMPLETION STAGE (GOLD)

1234 Main Street  
Melbourne, VIC 3000

Buyer Name

14/11/2022 9:00AM



Inspector

**Ben Fazeli**

1300 471 805

[booking@ownerinspections.com.au](mailto:booking@ownerinspections.com.au)



Agent

**Agent Name**

555-555-5555

[agent@spectora.com](mailto:agent@spectora.com)

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**Inspection Agreement**

1. This is an Agreement between you, the undersigned Client, and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to

perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.

11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.

12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.

13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.

14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.

15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.

16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.

17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.

18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.

19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise

that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

### **Purpose of Inspection**

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

### **Conditions of Inspection**

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

### **Scope of Inspection**

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix C, AS4349.1-2007. An estimate of the cost of

rectification of defects is not required in an Inspection report in accordance with this Standard.

### **Inspection Records**

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

### **Areas for Inspection**

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

### **Items to be inspected where applicable:**

**Interior:** Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

**Exterior:** Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and barges.

**Roof Space:** Roof covering, Roof framing, Sarking, Party walls, Insulation.

**Subfloor Space:** Timber Floor, Suspended concrete floors.

**The site:** Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

**Exclusion of items from Inspection:**

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

**Safe and reasonable access**

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

**Roof interior:** minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

**Roof exterior:** Accessible from a 3.6m ladder placed on the ground.

**Sub Floor Area:** 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

**Access Limitation:**

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision of reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

**Examples of access limitations:**

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

**Acceptance criteria:**

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Definitions**

**Access hole (cover):** An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

**Accessible area:** An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

**Building element:** Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

**Client:** The person or other entity for whom the Inspection is being carried out.

**Defect:** Fault or deviation from the intended condition of a material, assembly, or component.

**Inspection:** Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

**Inspector:** Person who is responsible for carrying out the Inspection.

**Limitation:** Any factor that prevents full or proper Inspection of the building.

**Structural defect:** Fault or deviation from the intended structural performance of a building element.



**Structural element:** Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

**Subfloor space:** Space between the underside of a suspended floor and the ground.

**Roof space:** Space between the roof covering and the ceiling immediately below the roof covering.

**Site:** Allotment of land on which a building stands or is to be erected.

**Defect Categories:**

**Visually Fine (F):** Item inspected and is visually fine.

**General Advice (G):** A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

**Defect (D):** Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

**Major Defect (M):** A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

**Unable to Inspect (U):** An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

**Not Applicable (N):** An item which is not applicable to the area of the Inspection.

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# SUMMARY

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GENERAL  
ADVICE/MAINTENANCE  
ITEMS



DEFECTS

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## **Purpose of Inspection**

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## **Inspection Records**

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agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

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**Exterior:** Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and barges.

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**The site:** Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

**Exclusion of items from Inspection:**

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings. Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

### **Safe and reasonable access**

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**Inspector:** Person who is responsible for carrying out the Inspection.

**Limitation:** Any factor that prevents full or proper Inspection of the building.

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**Not Applicable (N):** An item which is not applicable to the area of the Inspection.

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 1.2.1 + Inspection Details - + General Views of the house: + General views of the house

 2.1.1 + Inspection Summary - + Inspection Summary: + Overall Condition - Average

- 🔧 4.1.1 + House External - + General views of house EXTERNAL: + General views of the house EXTERNAL
- ⊖ 4.3.1 + House External - + Eaves: + Caulking/Filling required
- ⊖ 4.5.1 + House External - + Windows (External): + Caulking Required to top/sides
- 🔧 4.7.1 + House External - + External Appliances: + Installed
- 🔧 4.10.1 + House External - + Termite Management Notice: + Installed
- 🔧 4.11.1 + House External - + Fire Safety: Property Within 900mm of the boundary
- 🔧 5.5.1 + External Wall/Cladding - + Control Joints: + Visually fine
- 🔧 5.8.1 + External Wall/Cladding - + Weep holes: + Appears Fine
- 🔧 6.1.1 + Site Drainage - + Site Grading: + Grading - Done
- ⊖ 7.2.1 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): + Fix fasteners rubber
- 🔧 7.2.2 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): + General views
- ⊖ 8.1.1 + Roof Drainage System - + Gutter and Fascia: + Brackets - Spacing exceeds 1,200mm
- ⊖ 8.1.2 + Roof Drainage System - + Gutter and Fascia: + Water Ponding / Wrong Sloping
- ⊖ 8.3.1 + Roof Drainage System - + Downpipes: + Not secured
- 🔧 9.1.1 + Garage/Carport/Driveway/Pathway - + General: + General views
- 🔧 9.2.1 + Garage/Carport/Driveway/Pathway - + Automatic Roller/Sectional Door(s): + Working
- 🔧 9.3.1 + Garage/Carport/Driveway/Pathway - + Floor (Slab Surface Finish): + Slab Level - Within Tolerance
- 🔧 9.4.1 + Garage/Carport/Driveway/Pathway - + Driveway/Pathways: + Visually Fine
- 🔧 11.1.1 + Roof Space (Internal) - + General: + General views
- 🔧 12.1.1 + House Internal - + General views of the house INTERNAL: + General views of the house INTERNAL
- ⊖ 12.2.1 + House Internal - + General Painting Defects: + General painting defects throughout the dwelling
- ⊖ 12.2.2 + House Internal - + General Painting Defects: + Doors top/bottom not painted
- 🔧 12.3.1 + House Internal - + General Tiling: + Visually fine
- ⊖ 12.5.1 + House Internal - + General Nails popping : + Nails Popping
- 🔧 12.6.1 + House Internal - + General Cleaning: + General Cleaning required
- ⊖ 12.7.1 + House Internal - + Doors (Internal): + Door binding
- ⊖ 12.7.2 + House Internal - + Doors (Internal): Top & Bottom Edges
- ⊖ 12.9.1 + House Internal - + Skirtings / Architraves: + Joints Not Aligned in Skirtings/Architraves/Cornices
- 🔧 12.10.1 + House Internal - + Windows: + Fly Screen Not installed
- 🔧 14.1.1 + Kitchen - + Benchtops: + Visually fine
- 🔧 15.1.1 + Laundry Room - + Splashback: + Appears fine
- 🔧 16.1.1 + Bathrooms/Ensuites/Toilets - + Splashback: + Appears fine

1: + INSPECTION DETAILS

		F	G	D	M	U	N
1.1	+ General		X				
1.2	+ General Views of the house		X				
1.3	+ Limitations		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Information

<b>+ General: In Attendance</b> Client	<b>+ General: Weather Conditions</b> Light Rain	<b>+ General: Bedrooms</b> 4
<b>+ General: Bathrooms/Ensuites</b> 2	<b>+ General: Type Of Building</b> Residential	<b>+ General: How Many Levels?</b> Single Storey
<b>+ General: Car Park</b> Double	<b>+ General: External Building Material</b> Brick Veneer, Render	<b>+ General: Piers</b> Brick, Timber
<b>+ General: Building Age</b> New Build	<b>+ General: Flooring</b> Timber, Carpet, Tiles	<b>+ General: Windows</b> Aluminium
<b>+ General: Roof</b> Metal		

Limitations

+ General  
**REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:**  
Weather, Stored Material



+ Limitations

**REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:**

Weather, Stored Material



**Observations**

1.2.1 + General Views of the house

**+ GENERAL VIEWS OF THE HOUSE**

 General Advice/Maintenance Items



Front



Right



Rear



Left



## 2: + INSPECTION SUMMARY

		F	G	D	M	U	N
2.1	+ Inspection Summary			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

2.1.1 + Inspection Summary

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Defects

+ **OVERALL CONDITION - AVERAGE**

The overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is **Average**. There will be areas or items requiring some repair or maintenance.

**Please Note:** This is a general appraisal only and cannot be relied on its own – read the report in its entirety.  
This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

3: + UTILITIES

		F	G	D	M	U	N
3.1	+ Utilities Connection		X				

F = Visually FineG = General AdviceD = DefectM = Major DefectU = Unable to InspectN = Not Applicable

Information

<div><div>+ Utilities Connection: Recycled Water</div><div>Connected</div></div>	<div><div>+ Utilities Connection: Gas</div><div>Connected</div></div>	<div><div>+ Utilities Connection: Smoke Alarms</div><div>Smoke detectors to be tested by electrician and certificate to be provided to client., Installed</div></div>
<div><div>+ Utilities Connection: ELECTRICITY</div><div>Connected</div></div>	<div><div>+ Utilities Connection: Main Water</div><div>Connected</div></div>	<div><div>+ Utilities Connection: Sewer</div><div>Connected</div></div>
<div><div>+ Utilities Connection: Stormwater system</div><div>Connected</div></div>		

## 4: + HOUSE EXTERNAL

		F	G	D	M	U	N
4.1	+ General views of house EXTERNAL		X				
4.2	+ Fence / Gate		X				
4.3	+ Eaves			X			
4.4	+ Retaining Walls						X
4.5	+ Windows (External)			X			
4.6	+ Doors (External)		X				
4.7	+ External Appliances		X				
4.8	+ Stairs (External)						X
4.9	+ Balustrades/Handrails (External)						X
4.10	+ Termite Management Notice		X				
4.11	+ Fire Safety		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Information

#### + Termite Management Notice: + Termite Protection Certificate to be provided to client

Builder to provide a copy of the termite protection certificate to client prior to handover.

### Observations

4.1.1 + General views of house EXTERNAL

+ GENERAL VIEWS OF THE HOUSE EXTERNAL

General Advice/Maintenance Items



4.3.1 + Eaves

+ CAULKING/FILLING REQUIRED

One or more section(s) of eave require caulking or filling.

Defects



Front

4.5.1 + Windows (External)

+ CAULKING REQUIRED TO TOP/SIDES

Where the gap between the window (or door) and the external cladding is excessive and can not be covered by the bottom/side flashings, such gaps must be caulked using the same colour proper caulking material.

Defects



Left

4.7.1 + External Appliances

 General Advice/Maintenance Items

+ INSTALLED

The external appliances are installed and are appears visually fine. Unable to test as not all utilities were connected at the time of inspection.

Note: testing the appliances is not included in the building inspection scope of work. Builder to provide the certificate of the installation of the appliances to the property owner.



4.10.1 + Termite Management

Notice

 General Advice/Maintenance Items

+ INSTALLED

Termite management notice found in the metrebox. Client to check and follow the instructions regularly to make sure the house stays protected from pest and termite.



4.11.1 + Fire Safety



General Advice/Maintenance Items

PROPERTY WITHIN 900MM OF THE BOUNDARY

The property is located within 900mm of the boundary. The builder is fully responsible to ensure Non-combustible materials are used in sections located within 900mm of the boundary.

Notes to Figure 3.7.2.1:

- 1. No protection *required* for the wall at right angles or more to the boundary.
- 2. For protection of encroachments refer to 3.7.2.7.

Figure 3.7.2.2a Measurement of distances (Plan view)

Diagram a Full wall protection

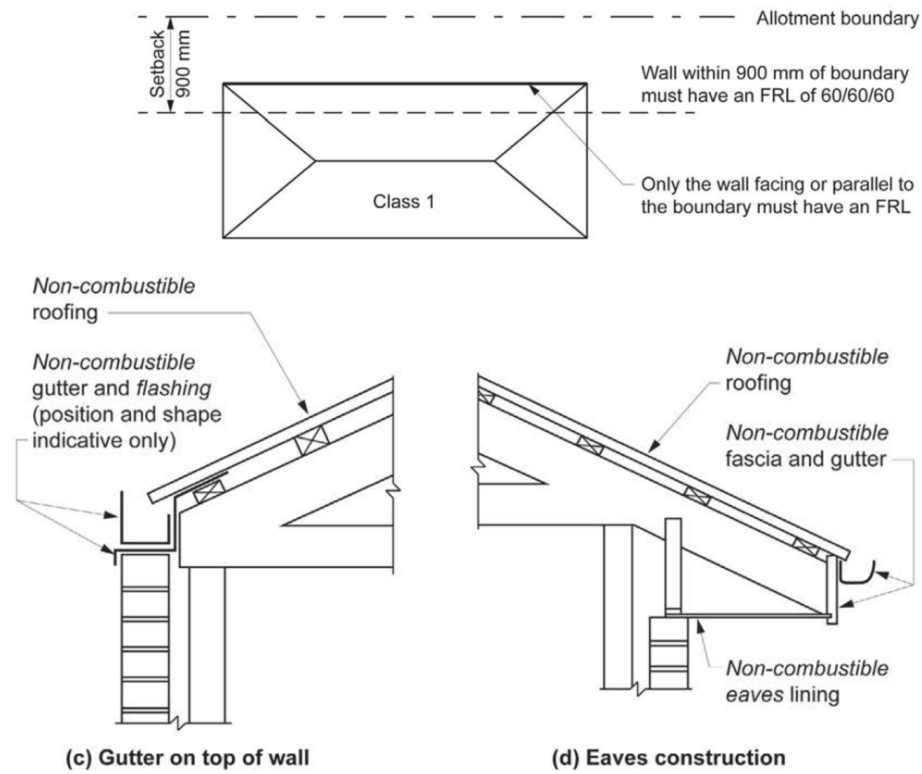
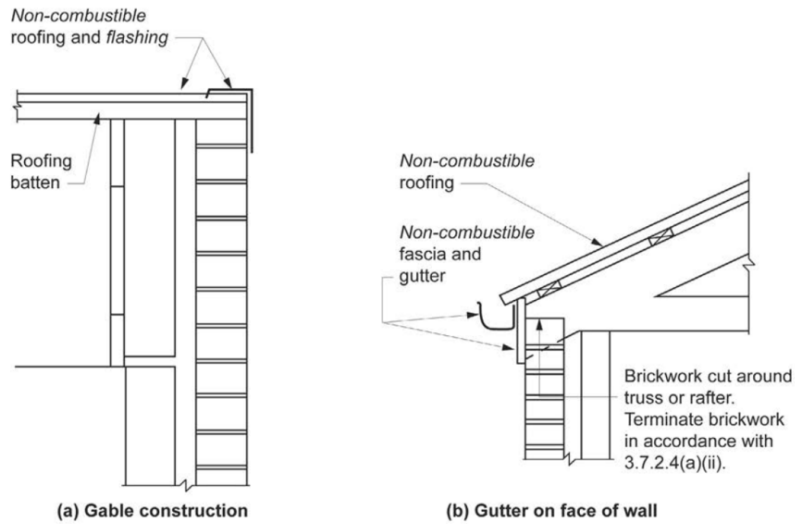
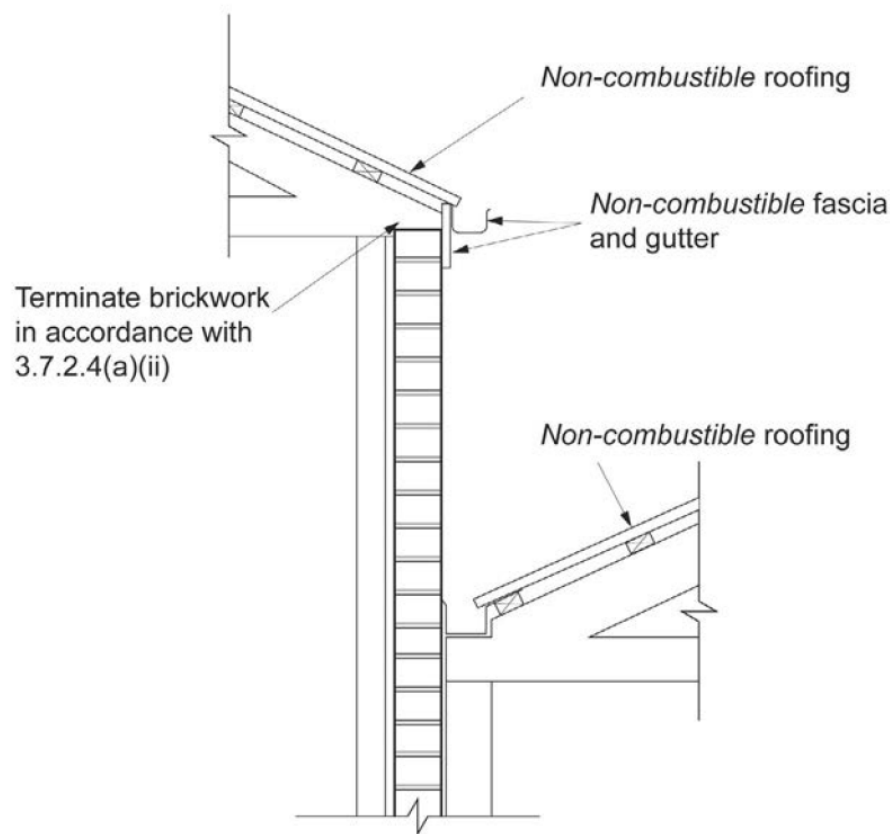


Figure 3.7.2.3 Typical construction of external walls





**(e) Attached Class 1 buildings on the same allotment**



5: + EXTERNAL WALL/CLADDING

		F	G	D	M	U	N
5.1	+ Brickworks						
5.2	+ Mortar		X				
5.3	+ Render		X				
5.4	+ Hebel						X
5.5	+ Control Joints		X				
5.6	+ Joints/Infills/Caulking		X				
5.7	+ Window Sills		X				
5.8	+ Weep holes		X				
5.9	+ Pipe penetrations		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Observations

5.5.1 + Control Joints  
**+ VISUALLY FINE**

 General Advice/Maintenance Items





5.8.1 + Weep holes  
**+ APPEARS FINE**

 General Advice/Maintenance Items

Weep holes appear fine at the time of inspection.



6: + SITE DRAINAGE

		F	G	D	M	U	N
6.1	+ Site Grading		X				
6.2	+ Silt Pits						X
6.3	+ Stormwater Drainage System (Underground)		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Observations

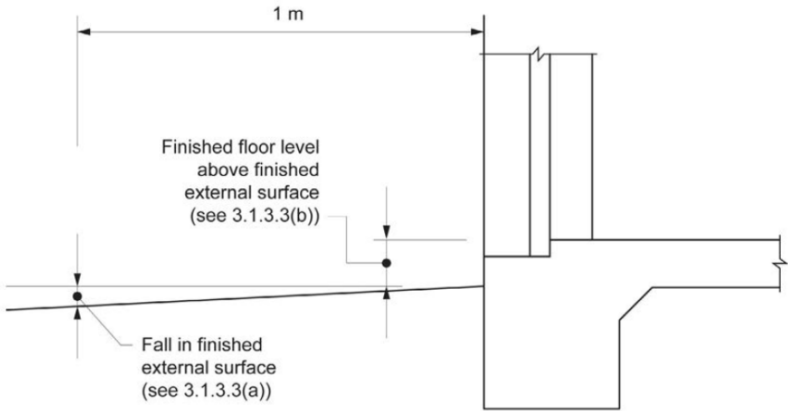
6.1.1 + Site Grading

+ GRADING - DONE

The site is graded. After the handover, it is the owner's responsibility to maintaining the grain o ensure the rainwater grades away from the building.

 General Advice/Maintenance Items

Figure 3.1.3.2 Site surface drainage



7: + ROOF CLADDING (EXTERNAL)

		F	G	D	M	U	N
7.1	+ Roof Cladding (Tile and Shingles)						X
7.2	+ Roof Cladding (Metal sheet Roofing)			X			
7.3	+ Parapet Walls Capping		X				
7.4	+ Flashing and capping		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Observations

7.2.1 + Roof Cladding (Metal sheet Roofing)

Defects

+ **FIX FASTENERS RUBBER**

One or more screws are not installed properly or the rubber is damaged. they need to be rectified to avoid any water leak/damage.



Garage



Garage Front

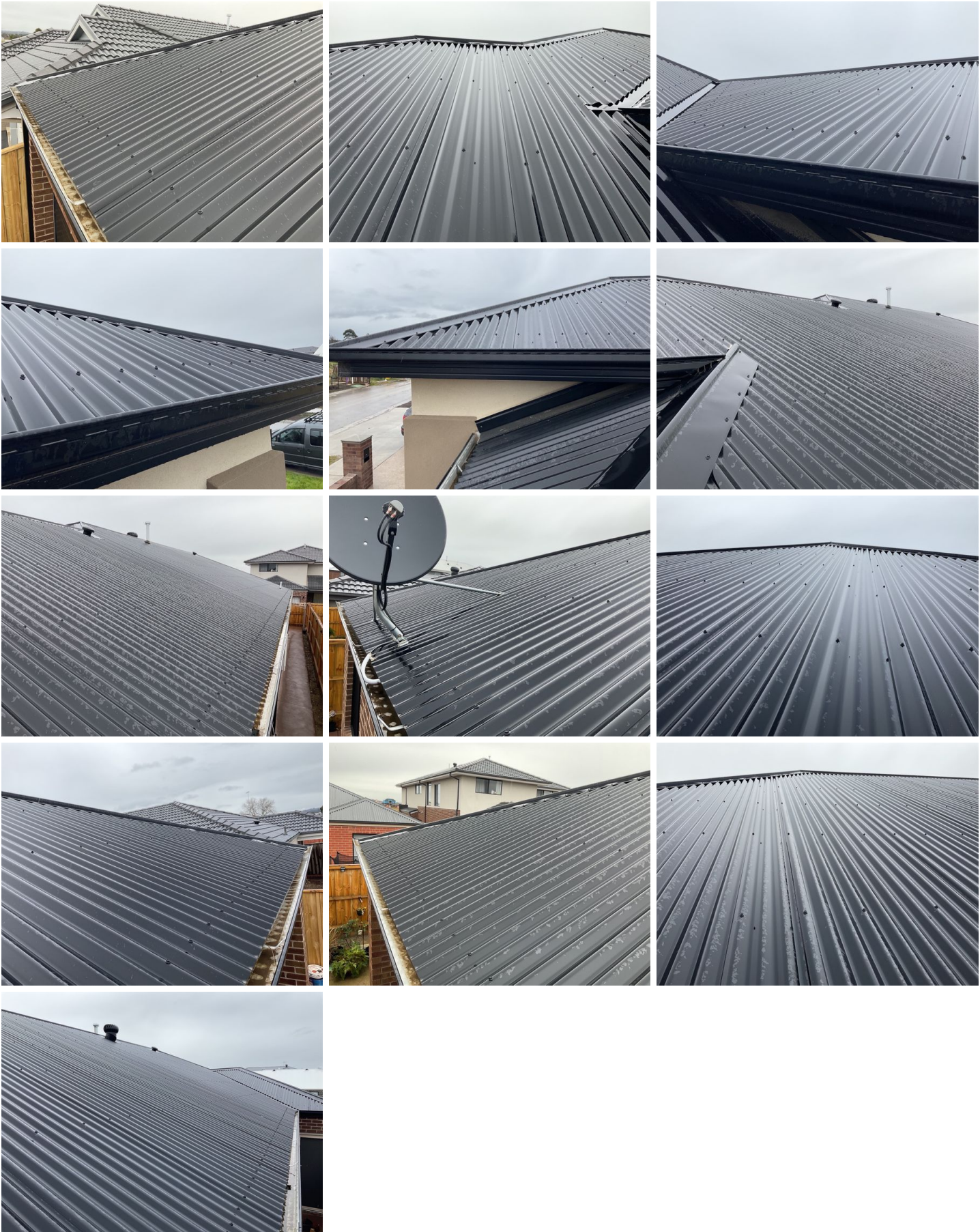


7.2.2 + Roof Cladding (Metal sheet Roofing)

+ GENERAL VIEWS

General views of the roof cladding.

General Advice/Maintenance Items



## 8: + ROOF DRAINAGE SYSTEM

		F	G	D	M	U	N
8.1	+ Gutter and Fascia			X			
8.2	+ Rainheads						X
8.3	+ Downpipes			X			
8.4	+ Downpipe spreaders						X
8.5	+ Flashings		X				
8.6	+ Air conditioner Drainage	X					

F = Visually Fine

G = General Advice

D = Defect

M = Major Defect

U = Unable to Inspect

N = Not Applicable

### Observations

#### 8.1.1 + Gutter and Fascia

#### + BRACKETS - SPACING EXCEEDS 1,200MM

The spacing between the gutter brackets noted to be exceeding the maximum allowance of 1,200mm. Additional bracket(s) required.



Defects

#### 3.5.3.4 Installation of gutters

- (a) Gutters must be installed with a fall of not less than—
- 1:500 for eaves gutters, unless fixed to metal fascias; and
  - 1:100 for box gutters.
- (b) Eaves gutters must be—
- supported by brackets securely fixed at stop ends and at not more than 1.2 m centres; and
  - be capable of removing the overflow volume specified in [Table 3.5.3.3a](#) and [Table 3.5.3.3b](#).
- (c) Overflow measures in accordance with [Table 3.5.3.4a](#) and [Table 3.5.3.4b](#) are deemed to be capable of removing the overflow volume specified in that Table.



Porch Garage

#### 8.1.2 + Gutter and Fascia

#### + WATER PONDING / WRONG SLOPING

Water stays in one or more areas in gutters. the gutters must have the minimum fall as to be below regulation to avoid water ponding and gutter corrosion:



Defects

#### 3.5.3.4 Installation of gutters

- (a) Gutters must be installed with a fall of not less than—
- 1:500 for eaves gutters, unless fixed to metal fascias; and
  - 1:100 for box gutters.



Garage



## 8.3.1 + Downpipes

**+ NOT SECURED**

One or more downpipes are not secured to the cladding and need proper fixing. All downpipes must be secured properly as instructed in AS HB 39:2015.

<https://www.standards.org.au/>



Defects

**Guide to standards and tolerances 2015:****7.05** Fixing of gutters and downpipes

Gutters and downpipes are defective if they are not securely fixed.

**5.7.6 Downpipes**

For the installation of downpipes, see AS/NZS 3500.3. In addition, for best practice, the following are to be observed:

- (a) *Connection* Downpipes to be connected to the base of rainheads or sumps.
- (b) *Internal gutters* Downpipes from internal gutters to be connected to sumps with appropriate overflow provision, or discharged into external rainheads with appropriate overflow provision.
- (c) *Fastening* Downpipes to be securely fastened to walls and structures so as to withstand movement due to thermal expansion or weight due to a partial or total blockage.
- (d) *Spacing* Downpipe brackets to be spaced at intervals not exceeding 2 m vertically and 1 m on a slope (see Figure 5.7.6).

NOTE: Support systems for metal downpipes should comply with AS/NZS 2179.1.

@Australian Standards - <https://www.standards.org.au/>



Right

9: + GARAGE/CARPORT/DRIVEWAY/PATHWAY

		F	G	D	M	U	N
9.1	+ General		X				
9.2	+ Automatic Roller/Sectional Door(s)		X				
9.3	+ Floor (Slab Surface Finish)		X				
9.4	+ Driveway/Pathways		X				

F = Visually FineG = General AdviceD = DefectM = Major DefectU = Unable to InspectN = Not Applicable

Information

+ Driveway/Pathways: Driveway

Material

Concrete

Limitations

+ Floor (Slab Surface Finish)

+ **SLAB SURFACE INSPECTION WAS RESTRICTED BY:**

Stored Material



Observations

9.1.1 + General

 General Advice/Maintenance Items

+ **GENERAL VIEWS**

General views of the garage at time of inspection.



9.2.1 + Automatic Roller/Sectional Door(s)

+ **WORKING**

General Advice/Maintenance Items

The garage electric door opener was operable at the time of inspection.

9.3.1 + Floor (Slab Surface Finish)

+ **SLAB LEVEL - WITHIN TOLERANCE**

General Advice/Maintenance Items

The slab level appears to be within the tolerance limits of 10mm in every room or 4mm in every 2m length.



2.08 Levelness of concrete floors

Except where documented otherwise, new floors are defective if within the first 24 months of handover they differ in level by more than 10 mm in any room or area, or more than 4 mm in any 2 m length. The overall deviation of floor level to the entire building footprint shall not exceed 20 mm. Refer to Item I of this Guide where the new floor is to abut an existing floor.

9.4.1 + Driveway/Pathways

+ **VISUALLY FINE**

General Advice/Maintenance Items

The driveway is complete and appears visually fine.





10: + BALCONY

		F	G	D	M	U	N
10.1	+ General						X
10.2	+ Drainage						X
10.3	+ Floor and Walls						X
10.4	+ Balustrades/Handrails						X

F = Visually FineG = General AdviceD = DefectM = Major DefectU = Unable to InspectN = Not Applicable

11: + ROOF SPACE (INTERNAL)

		F	G	D	M	U	N
11.1	+ General		X				
11.2	+ Roof Structure		X				
11.3	+ Tile underneath						X
11.4	+ Insulation		X				
11.5	+ Sarking/Sisolation		X				
11.6	+ Flashing around penetrations		X				
11.7	+ Heating/Cooling Unit		X				
11.8	+ Heating/Cooling Ducts		X				
11.9	+ Lights/Downlights/Cables		X				
11.10	+ Roof Space Ventilation		X				
11.11	Manhole Opening		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Information

+ General: + Inspection Method  
Ladder

Limitations

+ General  
**+ THE LIMITATIONS RESTRICTED THE INSPECTOR'S INSPECTION:**  
Ducts



Observations

11.1.1 + General

+ GENERAL VIEWS

 General Advice/Maintenance Items

The general views of the roof space at the time of inspection



## 12: + HOUSE INTERNAL

		F	G	D	M	U	N
12.1	+ General views of the house INTERNAL						
12.2	+ General Painting Defects			X			
12.3	+ General Tiling		X				
12.4	+ General Cracks		X				
12.5	+ General Nails popping			X			
12.6	+ General Cleaning		X				
12.7	+ Doors (Internal)			X			
12.8	+ Ceiling/Wall plaster		X				
12.9	+ Skirtings / Architraves			X			
12.10	+ Windows		X				
12.11	+ Flooring - Timber		X				
12.12	+ Flooring - Carpet		X				
12.13	+ H/C vents/grilles/outlets		X				
12.14	+ Lights/switches/downlights		X				
12.15	+ Smoke Detectors		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

## Information

### + Smoke Detectors: + Smoke detectors testing

All smoke detectors must be tested by a qualified electrician.

## Observations

12.1.1 + General views of the house INTERNAL

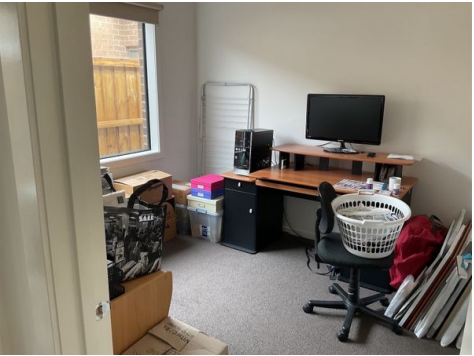
+ GENERAL VIEWS OF THE HOUSE INTERNAL

General views of the living areas at the time of inspection.

General Advice/Maintenance Items







12.2.1 + General Painting Defects



+ GENERAL PAINTING DEFECTS THROUGHOUT THE DWELLING

Paintwork is defective in several areas and marked by flagging tape. These defects must be fixed prior to the handover. Please refer to the photos for more details.  
Photos may not be showing all relevant areas. Builder to check the paintwork again through the dwelling.

12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.



Bathroom



Bathroom



Ensuite

## 12.2.2 + General Painting Defects



Defects

**+ DOORS TOP/BOTTOM NOT PAINTED**

Several doors top/bottom throughout the dwelling noted unpainted.

Timber is a product that is greatly affected by changes in moisture. The change in moisture can lead to timber doors warping, swelling and jamming. The simple act of sealing or painting the edges of the door leaves helps to combat moisture absorption in the doors and the need to either replace the doors or come back time and time again to refit the doors.

This applies to newly hung doors as well as doors that have been altered or refitted due to movement, binding or refitting after an alteration or renovation of an existing house. The entire door should be painted immediately after fitting and before hanging; this includes behind the hinges and lock, and most importantly, the top and bottom edges.

The Guide to Standard and Tolerance 2015 Part 8.06, deemed it a defect if the door leaves are not sealed/painted on all sides, top and bottom edges in accordance with the manufactures instructions. In most cases, the manufacturer requires the top and bottom of the doors to receive the same number of coats of paint as the door face.

The Standard and Tolerance Guide also provides a paint durability table that outlines the minimum durability time allowed for painted coatings whether acrylic or enamel. This is a useful guide when deciding if there might be a defect associated with the paintwork.

Note: the standards for painting must be either in accordance with the manufacturer's installation requirements or AS/NZ 2311. 2009 Guide to the painting of buildings.

## 8.06 Sealing of door edges

Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.

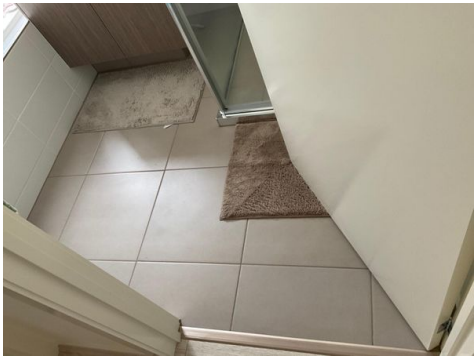




12.3.1 + General Tiling  
**+ VISUALLY FINE**

 General Advice/Maintenance Items

The tile flooring was visually fine at the time of inspection.

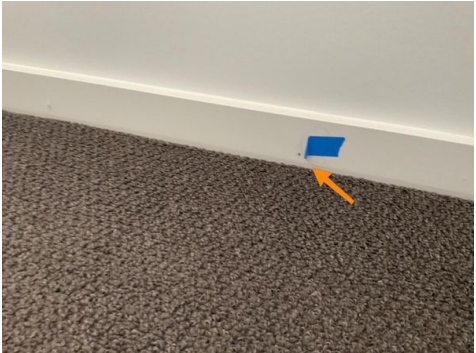


12.5.1 + General Nails popping  
**+ NAILS POPPING**

 Defects

Several nails popping on the surface throughout the dwelling and marked using flagging tape.

Note: The photos may not showing all the defects, but the builder is responsible to check and rectify all the popping nails throughout the property.



Bed 4

**Nail popping**

**9.19** [Nail popping in surfaces](#)

Nail popping in sheeting is defective if it exists at handover or occurs within the first 24 months of completion and can be seen from a normal viewing position.

12.6.1 + General Cleaning

+ **GENERAL CLEANING REQUIRED**

 General Advice/Maintenance Items

General final cleaning throughout the house required prior to the handover.

**18.08** Cleaning

Owners are entitled to expect that the building site and works are clean and tidy on completion. Where handover is delayed for any reason the owner must expect that dust may have settled on interior exposed surfaces.

Building sites are defective if they are not clear of building debris.

Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned, and shelving, drawers and cupboards ready for use.

12.7.1 + Doors (Internal)

+ **DOOR BINDING**

 Defects

One or more door(s) noted binding at the time of the inspection.

**8.03** Door furniture

During the documented maintenance period after completion, handles, locks and latches are defective if they do not operate as intended by the manufacturer. If the maintenance period is not documented, three months is the assumed time period after completion. After the end of the maintenance period, failure is not a defect unless it is caused by the builder's workmanship or a faulty product supplied by the builder.

**8.07** Operation of windows and doors

The installation of doors and windows is defective if, within three months of completion, they:

- a) bind or jam as a result of the builder's workmanship
- b) do not operate as intended by the manufacturer.



Ensuite

12.7.2 + Doors (Internal)

Defects

TOP & BOTTOM EDGES

Paint top and bottom edges of door as per manufacturers warranty requirements



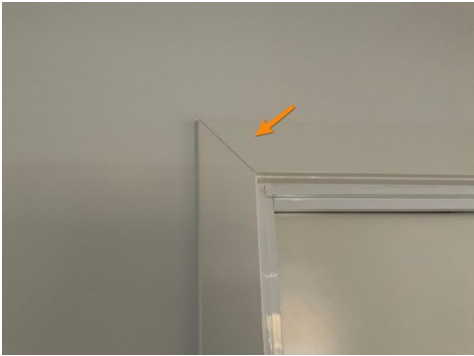
Master Bedroom

12.9.1 + Skirtings / Architraves

Defects

+ JOINTS NOT ALIGNED IN SKIRTINGS/ARCHITRAVES/CORNICES

Joints in fixing of internal mouldings (Skirtings/Architraves/Cornice) are not aligned.



Garage

10.02 Joints in fixing of internal mouldings

Unless documented otherwise, the faces of architraves and skirtings are defective if they are not aligned and flush at mitres and butt joints and the misalignment can be seen from a normal viewing position.

12.10.1 + Windows

General Advice/Maintenance Items

+ FLY SCREEN NOT INSTALLED

One or more fly screens were not installed at the time of inspection. Builder to check the contract/variations is the fly screen is included.

fly screens are mandatory in Bushfire affected (BAL) areaa.

13: + STAIRS (INTERNAL)

		F	G	D	M	U	N
13.1	+ Stairs						X
13.2	+ Balustrades/Handrails						X

F = Visually Fine

G = General Advice

D = Defect

M = Major Defect

U = Unable to Inspect

N = Not Applicable

14: + KITCHEN

		F	G	D	M	U	N
14.1	+ Benchtops		X				
14.2	+ Plumbing/Mixer/Taps		X				
14.3	+ Sink		X				
14.4	+ Splashbacks		X				
14.5	+ Cabinetry		X				
14.6	+ Oven/Stove/Rangehood		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Information

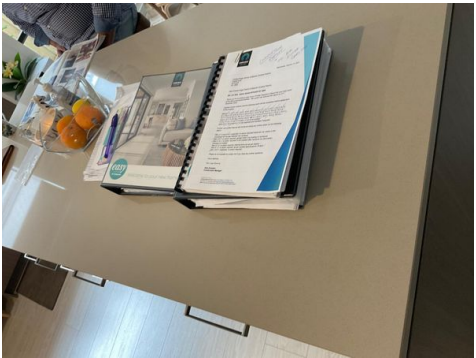
+ Benchtops: Stone

Observations

14.1.1 + Benchtops  
+ **VISUALLY FINE**

 General Advice/Maintenance Items

The benchtop installed and was visually fine at the time of inspection.



15: + LAUNDRY ROOM

		F	G	D	M	U	N
15.1	+ Splashback		X				
15.2	+ Mixer/Taps/Plumbing		X				
15.3	+ Sink/Trough		X				
15.4	+ Cabinetry		X				
15.5	+ Ventilation		X				
15.6	+ Exhaust Fan						X

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Observations

15.1.1 + Splashback

+ **APPEARS FINE**

The splashback appears fine at the time on inspection.

 General Advice/Maintenance Items





16: + BATHROOMS/ENSUITES/TOILETS

		F	G	D	M	U	N
16.1	+ Splashback		X				
16.2	+ Plumbing/Mixer/Taps		X				
16.3	+ Shower		X				
16.4	+ Shower screen		X				
16.5	+ Vanity/Cabinetry		X				
16.6	+ Basin		X				
16.7	+ Exhaust Fan		X				
16.8	+ Bath		X				
16.9	+ Toilet		X				
16.10	+ Ventilation		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

Information

+ Shower: Note to client:

Important Notes: The shower have been checked against the visual leakage, however, the shower leakage usually appears after long term use. We recommend maintaining the sealing and prevent them from any damages as one of the main water leak reasons.

Observations

16.1.1 + Splashback

+ **APPEARS FINE**

The splashback appears fine at the time on inspection.

 General Advice/Maintenance Items



17: + GLAZING

		F	G	D	M	U	N
17.1	+ Mirrors, windows and doors glassses		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

# STANDARDS OF PRACTICE

**+ Roof Space (Internal)**

What's inspected? Trusses, Insulation

What's not inspected? Antennae, interiors of flues or chimneys which are not readily accessible, and other installed accessories.

This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection.